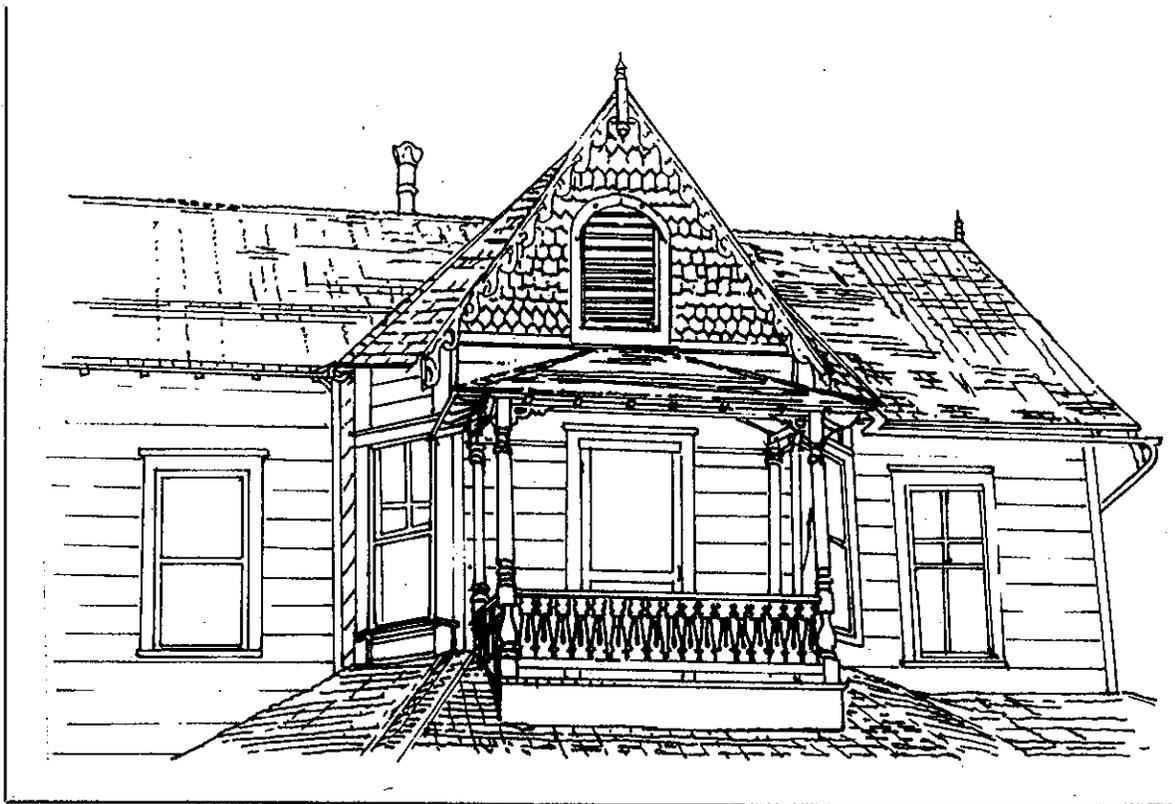


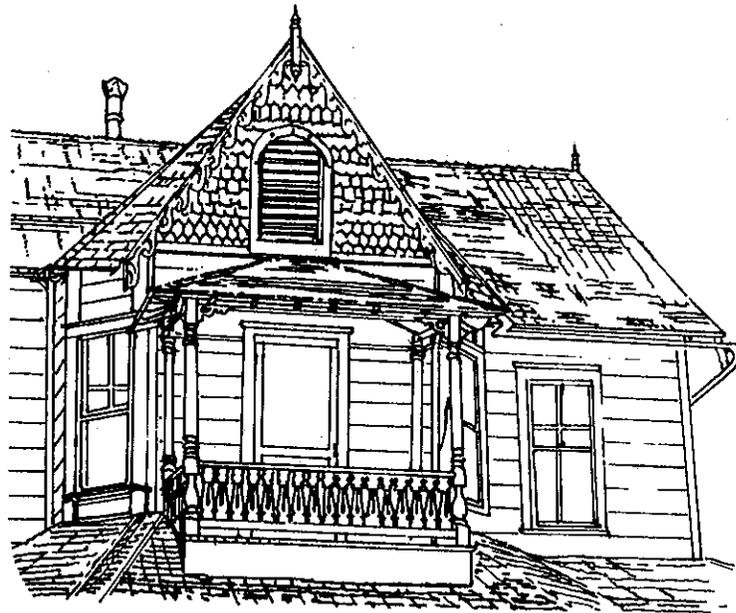
HISTORIC PRESERVATION DESIGN GUIDELINES



NEW SMYRNA BEACH

HISTORIC PRESERVATION DESIGN GUIDELINES

Prepared under the authority of
the Historic Preservation Commission
of the City of New Smyrna Beach
by
Historic Property Associates, Inc.
1991



NEW SMYRNA BEACH

Acknowledgements:

This project was financed in part with historic preservation grant assistance provided by the National Park Service, U.S. Department of the Interior, administered through the Bureau of Historic Preservation, Florida Department of State, assisted by the Florida Historic Preservation Advisory Council. The contents and opinions contained within do not, however, necessarily reflect the views and opinions of the Department of the Interior, the Department of State, or the City of New Smyrna Beach. The mention of trade names or commercial products does not constitute the endorsement or recommendation by the Department of the Interior, Florida Department of State, or the City of New Smyrna Beach. This program receives federal financial assistance for identification and protection of historic properties. Under Title VI of the Civil Rights Act of 1964 and Section 504 of the Rehabilitation Act of 1973, the U.S. Department of the Interior prohibits discrimination on the basis of race, color, national origin, or handicap in its federally assisted programs. If you believe you have been discriminated against in any program, activity, or facility as described above, or if you desire further information, please write to: Office for Equal Opportunity, U.S. Department of the Interior, Washington, D.C. 20240.

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Introduction

The historic buildings in New Smyrna Beach are valuable community assets. They enhance the visual quality of the city, which aids in attracting residents, businesses, and visitors to the community. In addition, historic buildings, along with archaeological resources, serve as important reminders of the city's storied past.

In order to preserve its historic character, the City of New Smyrna Beach has adopted an ordinance which creates a Historic Preservation Commission (HPC) with authority to regulate architectural change within designated districts or sites.

This manual offers guidelines to assist municipal officials and owners of property in designated historic districts in preserving historic buildings and in carrying out their mutual responsibilities under the ordinance.

The guidelines provide a framework for judging within the context of the ordinance what is acceptable and what is not acceptable in altering the appearance of a building within a historic district or upon a historic site.

The guidelines describe in some detail the building elements that are important to the principal styles of historic architecture in the city. They also offer suggestions for rehabilitation of existing buildings and construction of new buildings within a historic district or site that will best preserve its historic character.

At present, adherence to the guidelines is voluntary, and will remain so until the city designates a local historic district. When, and if, the city does create a local historic district, the guidelines are not to be considered as strict regulations but as general advisory standards to assist property owners in devising a building or remodeling plan that is consistent with the historic character of their property and the surrounding neighborhood.

In the event that a local historic district is created, the HPC will use the guidelines to aid in making decisions on the appropriateness of building plans submitted for approval. Approval or disapproval of the proposed project will be determined by a majority vote by the HPC.

SECTION 1

1/2" GRID (TRUE SCALE)

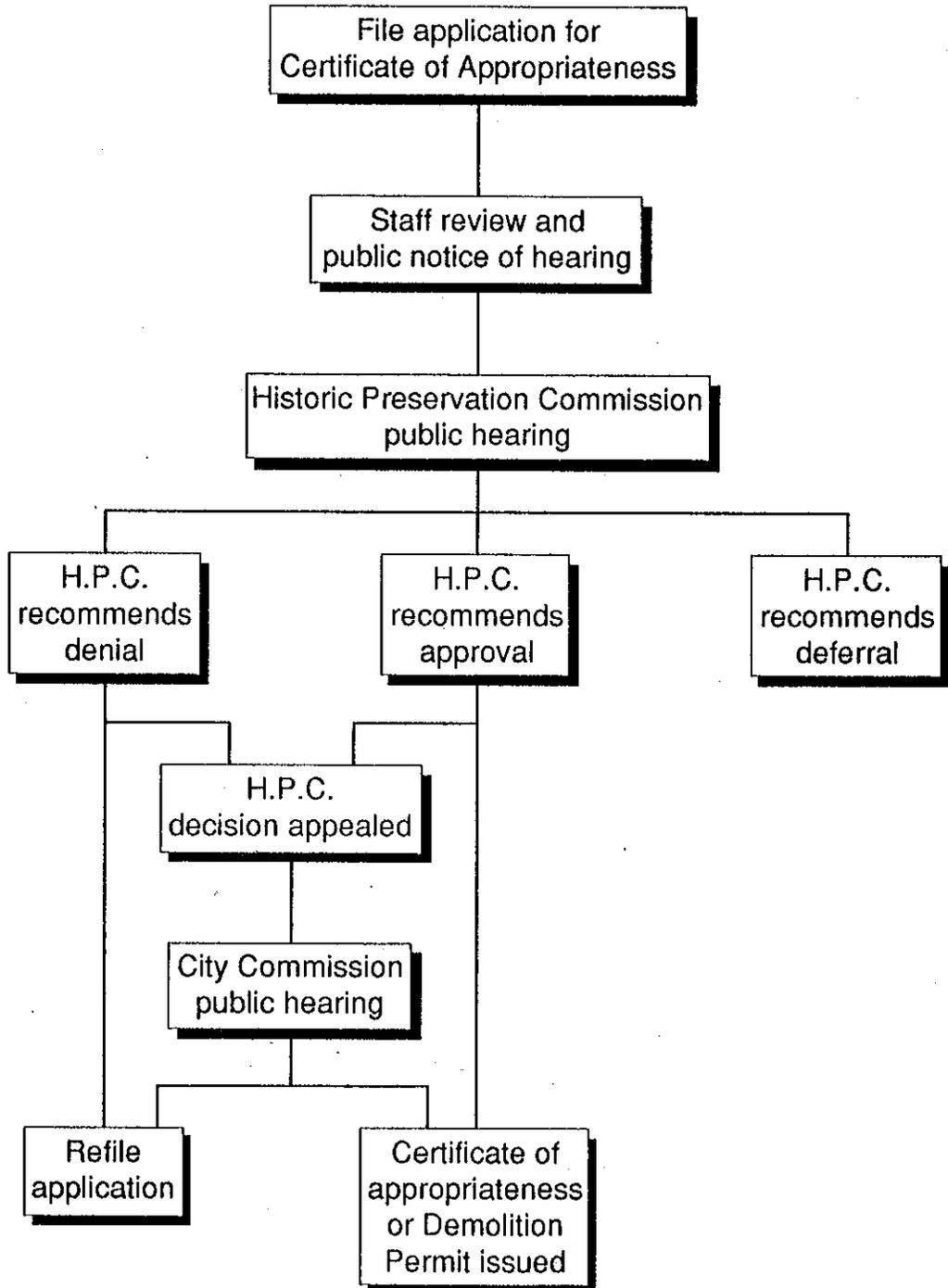
The Historic Preservation Ordinance

The New Smyrna Beach historic preservation ordinance gives the City Commission authority to designate individual sites, buildings, or districts as historic. The buildings within a designated historic district or a building that by itself is designated as historic are thereupon subject to municipal review before any exterior work (construction, rehabilitation, or alteration) may be undertaken.

The HPC makes recommendations to the City Commission to designate by ordinance districts or individual buildings as historic. The ordinance contains provision for specific notice to property owners of a proposed designation and permits opportunity for objection and for public hearings on a proposed designation.

The ordinance also prohibits demolition of any building more than fifty years old within the incorporated limits of the city without the approval of the HPC. Hazardous buildings may be razed by order of a municipal building official.

THE REVIEW PROCESS



The Historic Preservation Commission (HPC)

The Historic Preservation Commission (HPC) is a seven-member board of New Smyrna Beach residents, appointed by the City Commission. HPC meetings are generally held once a month and are open to the public. The HPC exercises a number of responsibilities under the ordinance, all of them dealing with the city's archaeological, architectural, and historic resources.

Fundamental to the issue of architectural review, the HPC issues Certificates of Appropriateness and Demolition Permits for buildings that require such permits. Any decision of the HPC may be appealed to the City Commission.

The Application Process

A property owner who wishes to physically alter a property within a designated historic district or site may obtain an application package from the City of New Smyrna Beach Planning Department in City Hall, 210 Sams Avenue. The deadline to submit an application for review by the HPC is forty days before its next scheduled meeting. That time delay is required to permit adequate public notice. The application for a Certificate of Appropriateness must be completed by the property owner (see Appendix D). The application defines the proposed alteration or project. Accompanying drawings, plans, photographs, or written statements must generally be submitted along with the application. Material samples and color samples may be required.

Each application submitted within the proper time frame will be reviewed at the public meeting of the HPC. The applicant will present a brief overview of the proposed project and allow HPC members opportunity to ask questions. The HPC will thereupon vote on the application for a Certificate of Appropriateness. If the HPC approves the application, the applicant may proceed with the permitting process. A revision of the plans may be made at the meeting or the applicant may revise the plans and resubmit them at a subsequent meeting. If the HPC denies the application, the applicant may appeal the denial to the City Commission.

Historic Districts

There are two types of historic districts: national and local. A National Register Historic District is one that is selected under federal criteria and recognized under federal law. Listing of a national district is essentially honorary and does not imply federal control or protection over listed properties, unless federal funds or activities are directed toward them.

A local historic district or local historic landmark is created by municipal designation; that is, through a local ordinance promulgated by the City Commission. A local historic district may or may not be geographically coterminous with a district listed in the National Register of Historic Places.

A National Register Historic District in New Smyrna Beach was officially recognized by the U.S. Department of Interior in April 1990. The provisions of the City's Historic Preservation ordinance do not apply to buildings within that district.

Contributing buildings within the national district may qualify for rehabilitation tax credits, which are explained in Appendix C of this manual.

A Brief History of New Smyrna Beach

New Smyrna Beach occupies a notable place in history as the site of the largest single attempt at colonial settlement in what is now the United States. Dr. Andrew Turnbull, a Scottish physician and entrepreneur, who obtained a grant of land from the British Crown, in 1768 established a colony of 1,255 immigrants upon coastal plantations at New Smyrna, with a view toward the commercial production of such crops as corn, indigo, rice, hemp, and cotton.

The land that the Turnbull colonists settled is located along the west bank of the Halifax River, opposite one of coastal east Florida's relatively few inlets. For some 10,000 years before the arrival of the Europeans, Native Americans inhabited the area, initially on a nomadic basis and later in more sedentary camps and villages. The coastline was until the early twentieth century strewn with mounds of ancient refuse that testified to the presence of the Indians. Most of the mounds were destroyed in the course of modern road and building construction, but much evidence of prehistoric habitation remains hidden under ground and water within the corporate limits of New Smyrna Beach and beyond.

The first European visitation to the New Smyrna Beach area was made during the First Spanish Colonial Period (1565-1763). Located on the fringe of the primary Spanish settlement at St. Augustine, New Smyrna was visited by missionaries sent to convert the indigenous Indian population to the Catholic faith. Toward the end of that period, the Spanish Crown conceded a number of land grants in the area.

Turnbull's colonial experiment, launched just after the British acquired East Florida in 1764, endured until 1777, when the colonists, plagued by disease and dissention, quit the place and fled to St. Augustine. Their physical legacy remains in the form of stone ruins and subsurface artifacts.

Some measure of settlement persisted after the departure of the disaffected colonists,

despite the menacing presence of hostile Indians and occasional mercenaries of various stripe. The Spanish reclaimed East Florida from the British in 1784, but encountered difficulty in securing control over the vast and essentially unpopulated land. The United States acquired the colony from Spain in 1819 and established the Territory of Florida in 1821.

During the following two decades the New Smyrna area hosted several large plantations, which concentrated primarily on the production of sugar. All gains made toward settlement there, however, were lost during the first year of the Second Seminole War (1835-1842), when many of the plantations were attacked and destroyed by Indian raiding parties. A measure of order was reestablished when the United States Army set up a military base at New Smyrna in 1837, but few settlers returned to the area.

Resettlement began in earnest after the Civil War. In 1887, with a population of 150, the Town of New Smyrna was incorporated. The arrival of Henry Flagler's Florida East Coast Railway in 1892 spurred development of the area's economy, which was based on the tourism, citrus, and commercial fishing industries.

The town counted 543 inhabitants at the turn of the century and proceeded to grow fourfold in the next two decades, reaching a population of 2,492 in 1920. The principal areas of business and residential development lay along Canal Street and Faulkner Street. Residential development during that period of expansion occurred mainly in the blocks surrounding the intersections of Washington Street and Orange Street and about two blocks inward from the river between Lytle Avenue and Clinch Street.

New Smyrna Beach, like most other Florida communities, experienced a period of intensive speculative development during the Florida land boom of the mid 1920s. During the

boom a significant collection of buildings were constructed in the area extending from Louise Avenue, eight blocks north of Canal Street, southward to Sixth Street. After the collapse of the land boom in 1926, the State of Florida fell into a protracted economic depression. Development slowed to a virtual halt in New Smyrna Beach during the Great Depression years of the 1930s and did not recover to its boom-time levels until after World War II.

There may be over 800 buildings in New Smyrna Beach that remain from the historic period. They include buildings on the mainland, west of the Intracoastal Waterway, and on the peninsula, the former community of Coronado Beach, which was incorporated into the City of New Smyrna Beach in 1947.

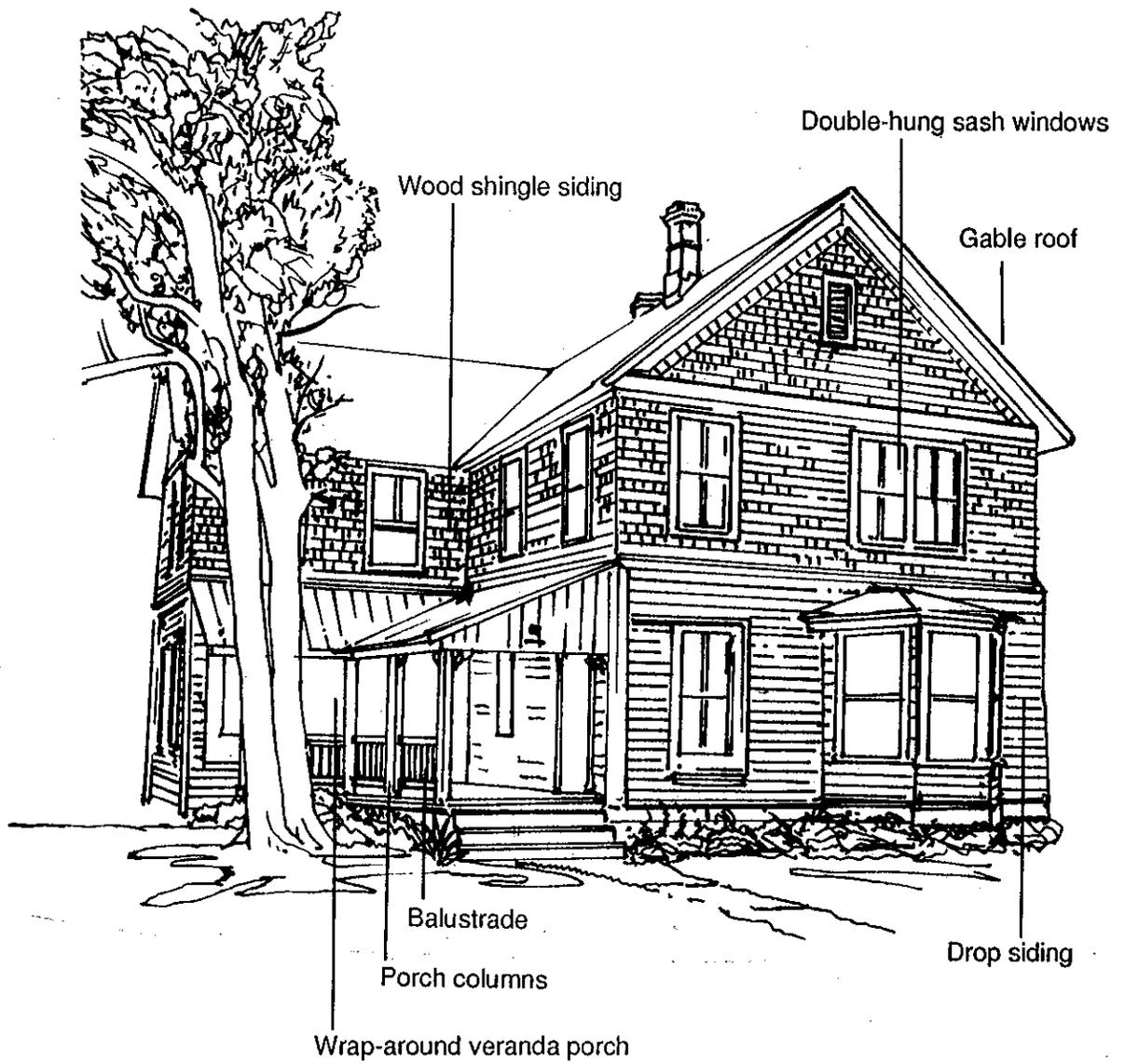
A few buildings in the city date from the late nineteenth century, but the majority were constructed between 1900 and 1930. Most of the historic buildings in the city exhibit vernacular designs. Bungalow, Colonial Revival, and Mediterranean Revival were the most common of the high architectural styles applied to residential buildings in New Smyrna Beach during the historic period. Most historic commercial buildings reflect the masonry vernacular designs commonly found throughout the United States in the early twentieth century.

SECTION 2

Architectural Styles

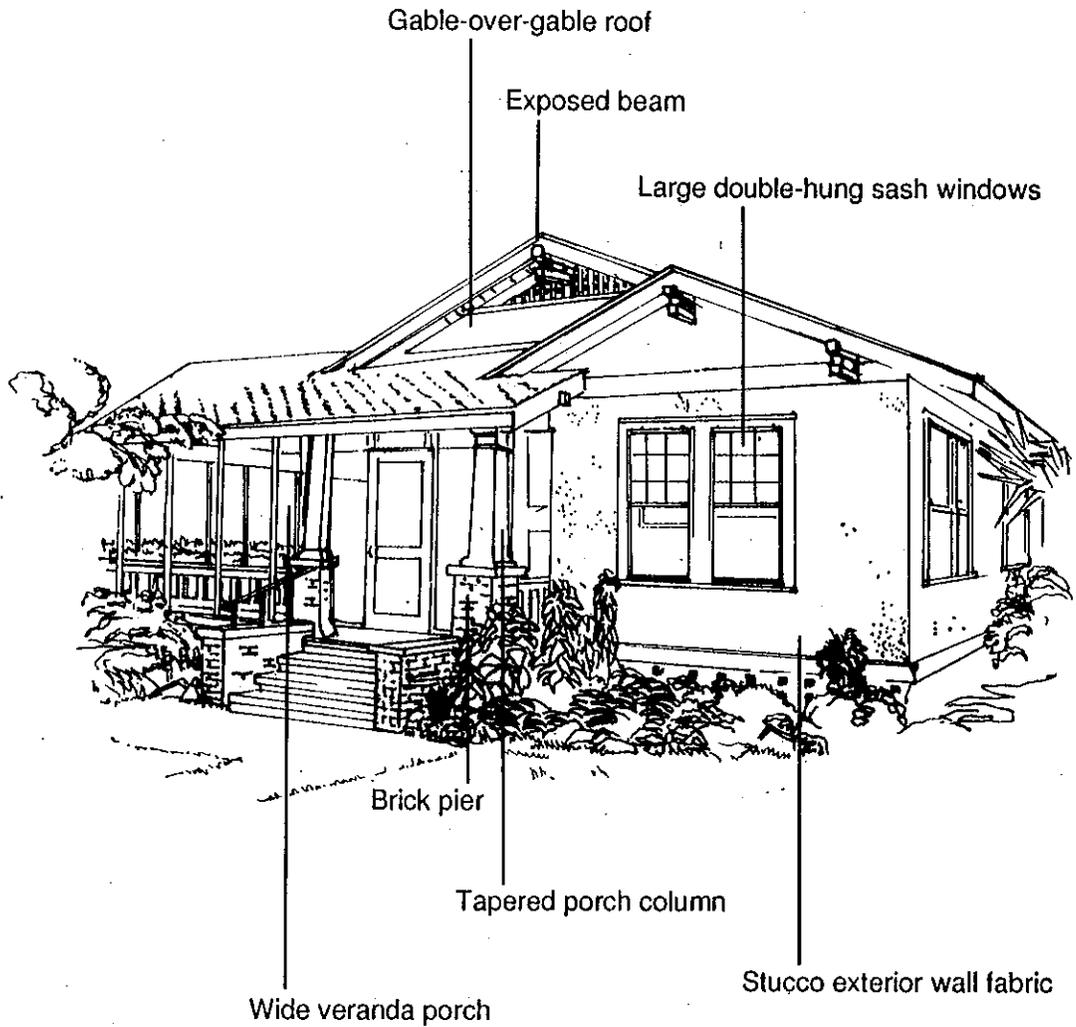
Frame Vernacular

The majority of New Smyrna Beach's historic residential buildings exhibit vernacular designs. The term Frame Vernacular applies to wood frame buildings that cannot be classified as representing a definitive high-style of architecture. In New Smyrna Beach, Frame Vernacular buildings typically rise one or two stories in height, show a regular footprint, usually rectangular, and are mounted on masonry piers. They have gable or hip roofs surfaced with composition shingles or metal sheeting. Horizontal weatherboard or drop siding are the most common exterior wall surface materials. A variety of patterned wood shingles, porch columns, balustrades, and decorative eave brackets frequently embellish Frame Vernacular residences. One or two story porches are also common features.



Bungalow Style

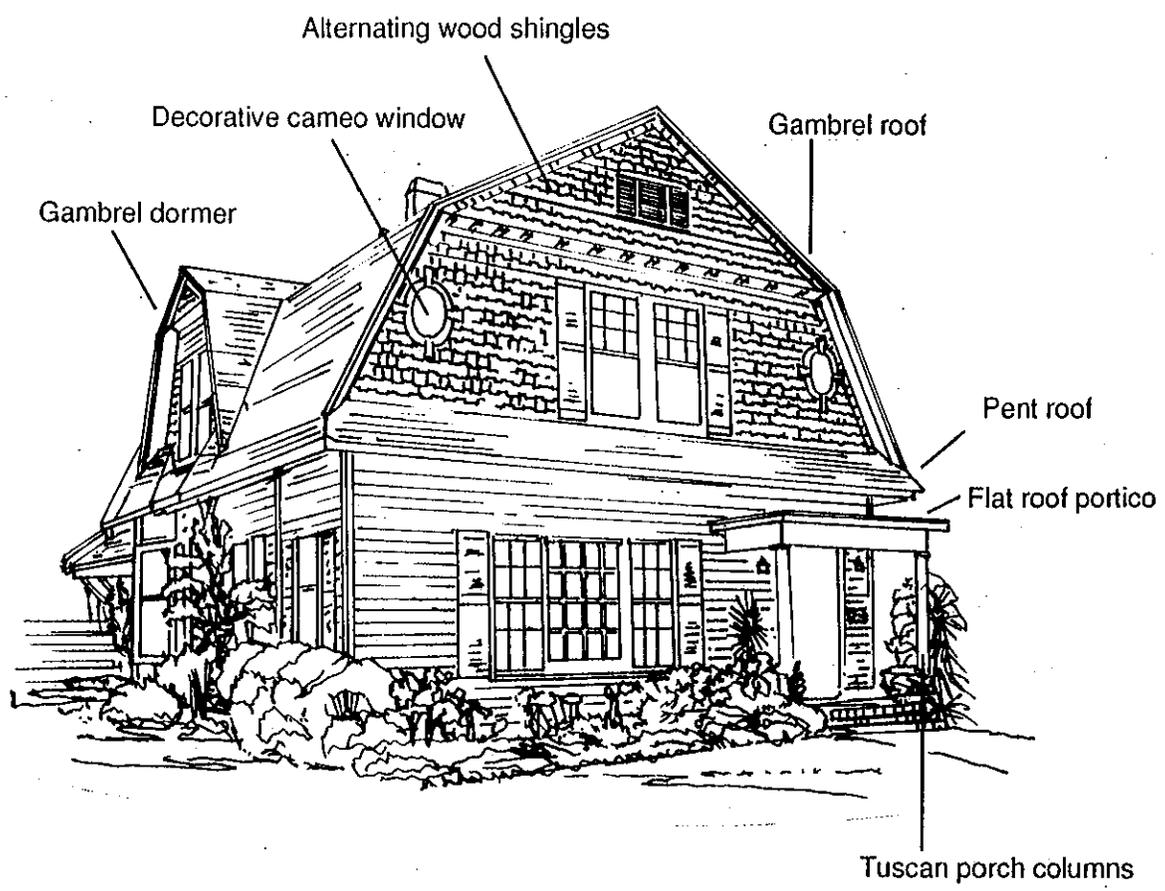
Of all the domestic building styles commonly employed in the first four decades of the twentieth century, the Bungalow was the most popular. Bungalows became the all-American choice for housing, especially among the expanding middle class, whose members enjoyed home ownership in growing numbers. In New Smyrna Beach, Bungalow houses exhibit low-pitched roofs, wide porches, and large windows. Typical ornamentation consists of knee braces, exposed beams, tapered porch columns on brick piers, and balustrades. The popularity of the Bungalow reached a peak in the 1920s and declined dramatically in the 1930s.



Colonial Revival

Colonial Revival was another highly popular style for American residential architecture during the first half of the twentieth century. The term Colonial Revival refers to a rebirth of interest in the designs of colonial English and Dutch houses of the Atlantic Seaboard. Identifying features of the style include gable, gambrel, or hip roofs, cornice molding, and an embellished front entrance. Dormers often appear on one or more sections of a hip-roofed Colonial Revival house. The main entrance is usually centered on the facade and often has decorative pediment, pilaster, and sidelight surrounds. The most common porch is a one bay portico supported by wooden columns of one of the classical orders.

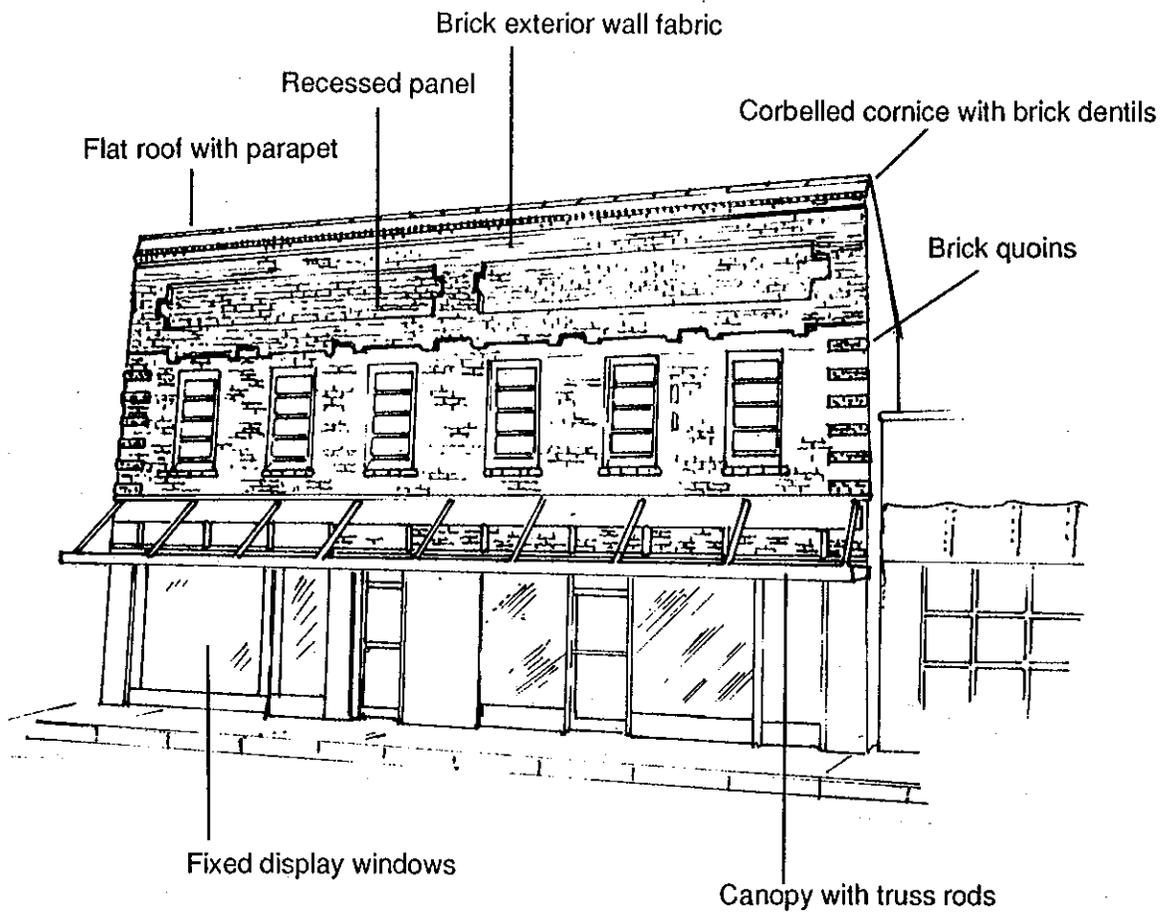
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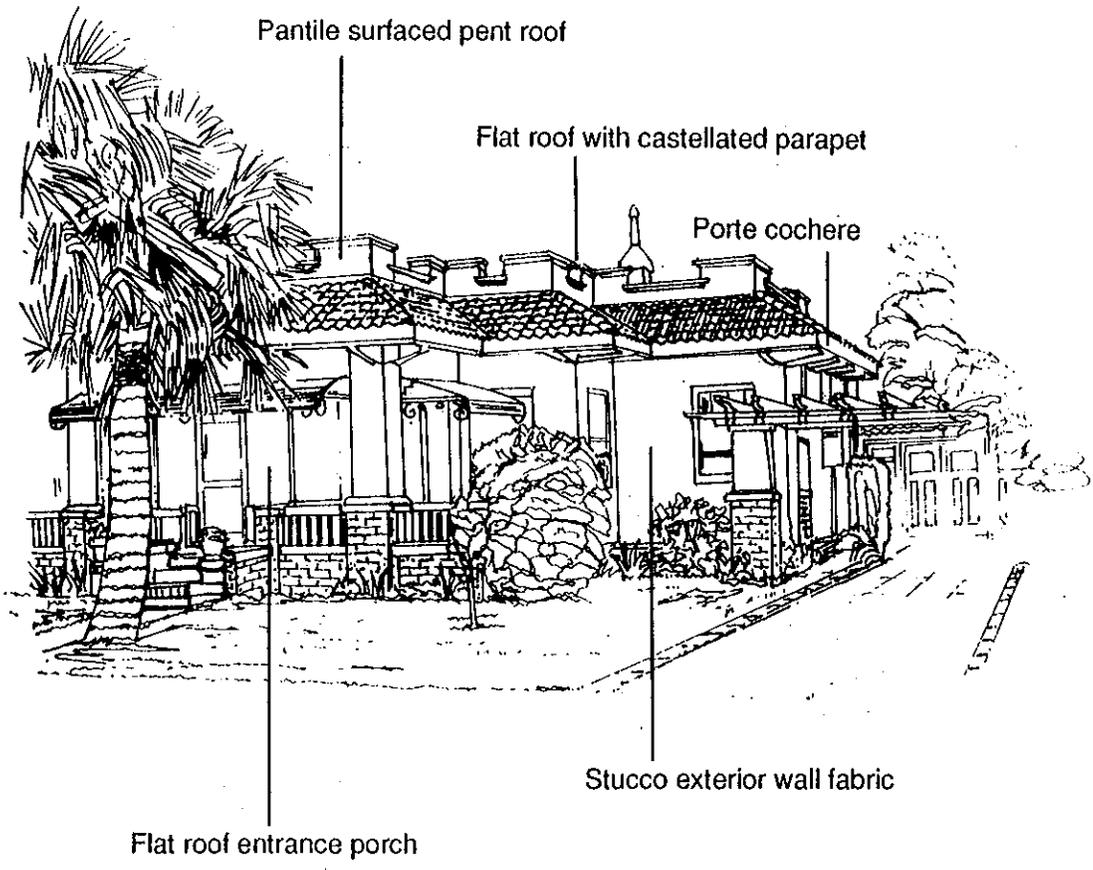
Masonry Vernacular

Masonry Vernacular is more commonly associated with commercial building types than with residential architecture, where wood frame houses dominate. In Florida, most Masonry Vernacular style buildings constructed before 1920 were brick, but a number of late nineteenth and early twentieth century examples feature rough-faced concrete block. Most Masonry Vernacular buildings in New Smyrna Beach are used for commercial purposes. Generally, they have boxy, square or rectangular plans, flat roofs, fixed windows display windows, and either stucco or brick exterior wall fabric.



Mediterranean Revival

The term Mediterranean Revival is a broad appellation for buildings with designs that were influenced by precedents found in ancient Moorish, Turkish, Byzantine, and Spanish architecture. The style found its greatest acceptance in the Southwestern United States and Florida during the first three decades of the twentieth century. Mediterranean Revival was adapted for a variety of building types, ranging from grand tourist hotels to two-room residences. Common features of a New Smyrna Beach Mediterranean Revival residence include a flat roof with a shaped parapet, ceramic tile roof surfacing, stucco exterior wall fabric, flat roof entrance porch, casement and double-hung sash windows, and ceramic tile decorations.



Pantile surfaced pent roof

Flat roof with castellated parapet

Porte cochère

Stucco exterior wall fabric

Flat roof entrance porch

Notes:

SECTION III

Maintenance and Rehabilitation of Historic Buildings

The historic architecture of New Smyrna Beach consists of a variety of building types and styles that were consistent with national trends in architecture from the late nineteenth century to the 1940s. As a collection, those buildings form a harmonious association in terms of their scale, massing, materials, roof types, setback, and color. The repetition of those elements creates a unified streetscape, despite the diversity of architectural detailing.

The guidelines that appear on the following pages are meant to provide direction for preserving the architectural harmony of historic neighborhoods in New Smyrna Beach. The guidelines are designed to achieve the following goals:

1. To maintain the pedestrian scale and harmonious pattern created by existing buildings.
2. To maintain the integrity of designated historic buildings that express the physical

history of New Smyrna Beach; encourage rehabilitation efforts that respect the style and character of historic buildings; and ensure that additions to historic buildings are compatible with their style and character.

3. To ensure that new buildings constructed in designated historic districts are compatible with their historic setting and make a valuable, but unobtrusive contribution to the streetscape.

4. To encourage new architecture in the extended vicinity to blend with the historic scale, styling, and materials evident on neighboring buildings.

5. To allow property owners flexibility in renovating historic structures, while maintaining the historic character of their buildings.

Maintaining Original Building Characteristics

Before rehabilitation plans are drafted, a careful study should be undertaken to document the original appearance of the building in question. When possible, historic photographs, architectural plans, descriptive accounts, plats, or footprint drawings should be consulted. These sources may reveal information that will aid in preparing plans sensitive to the historic character of the building.

A successful rehabilitation depends greatly on retaining or duplicating original stylistic features. In all cases, it is preferable to retain original detailing. If the original material must be replaced because of deterioration, its replacement should resemble the original in quality, proportion, and appearance. Deteriorated elements that must be replaced should be used as models for the fabrication of replacement parts. Items such as porch posts, wall siding, molding, wooden doors and windows, or masonry details such as chimney caps can be restored or at least reproduced. Recommendations for Preserving Historic Buildings

The following is a list of general principles that should be followed when undertaking a rehabilitation project.

1. Repair or restore original detailing and install it appropriately on the building.
2. Replace deteriorated features which are original to the building with features of similar quality, size and design.
3. In making additions or modifications to a building, maintain the harmony of scale, height, and massing that contribute to the overall architectural design of the original portion of the building.
4. Do not remove original detailing which can easily be replaced or repaired.

With a consistent preservation program that provides for careful study, planning, and review, the architectural integrity of New Smyrna Beach's historic neighborhoods can be retained or improved. The following text and illustrations are offered as a framework for making decisions on how to best maintain the ambiance of the city's historic areas. No set of preservation guidelines, no matter how comprehensive, can pretend to answer all questions that may appear during the rehabilitation process. In all such cases, common sense is the most valuable guideline to follow.

Recommendations for Preserving Historic Buildings

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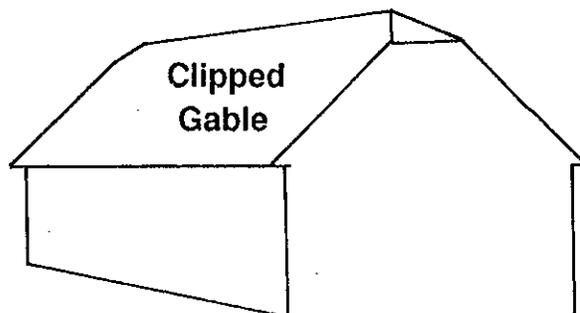
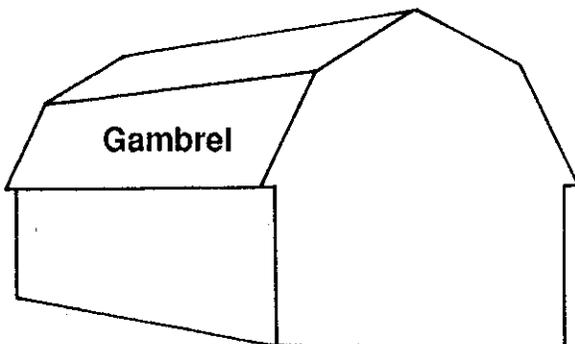
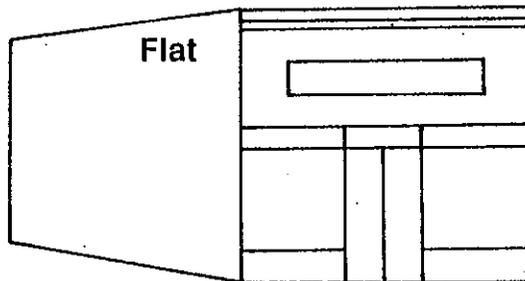
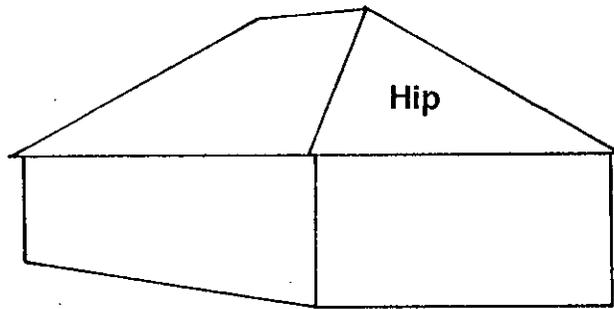
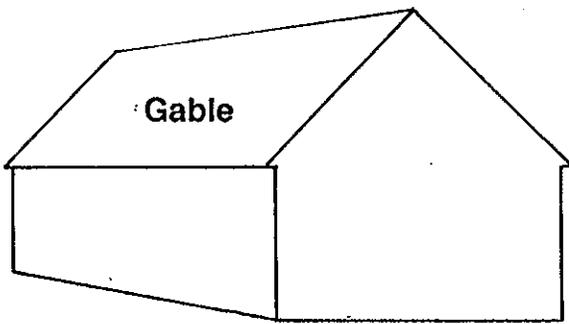
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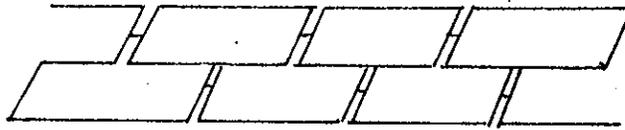
Roofs and Roof Surfaces

Rooflines are a highly visible component of historic houses in New Smyrna Beach. They comprise an important part of the streetscape, creating a unified rhythm with neighboring buildings. The five roof types found locally are gable, hip, flat, gambrel, and clipped gable. The gable roof, which is appropriate for a wide range of architectural designs, is the most prevalent.

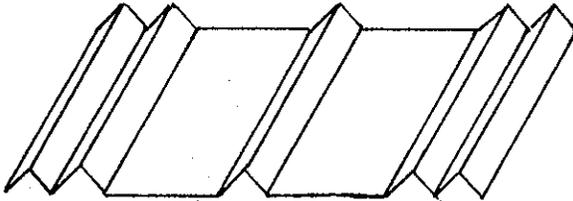
Roofs overhang exterior walls to protect them from water damage and to provide shade. Roof eaves are either enclosed with soffit and fascia boards or left open to exhibit the rafter ends of the roof. Often the eaves are accentuated with triangular knee braces or carved brackets. Some buildings have formal entablatures, embellished by frieze and crown moldings. Flat roof Mediterranean Revival and Masonry Vernacular buildings often have parapets with steps or curves capped by decorative coping.



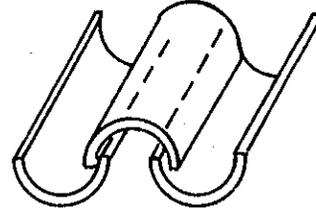
Composition Shingles



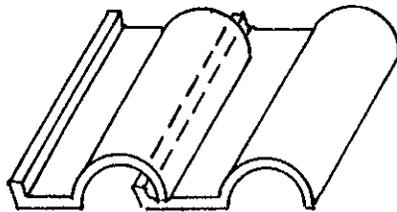
Metal, 3-V crimp



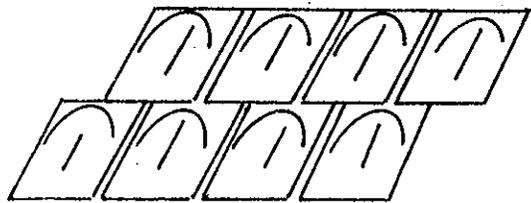
Barrel Tile



Pantile



Pressed Metal Shingles



Common roof surface materials include pressed metal shingles, sheet metal, and composition asphalt shingles. Ceramic clay tile is often found on Mediterranean Revival buildings.

Modifications to roofs and their features are

subject to review before commencement of construction. This especially applies to proposed additions. The pitch and height of the roof and eave treatments have a direct relationship to the scale of the addition and should be reviewed accordingly.

Recommended:

preserve original proportions and detailing of a roof and its eaves through restoration or maintenance.

when necessary, replace roof surfaces with materials similar to the original in size, color and texture.

design new structures with roofs that are compatible with those of neighboring buildings in pitch, height, massing, and direction.

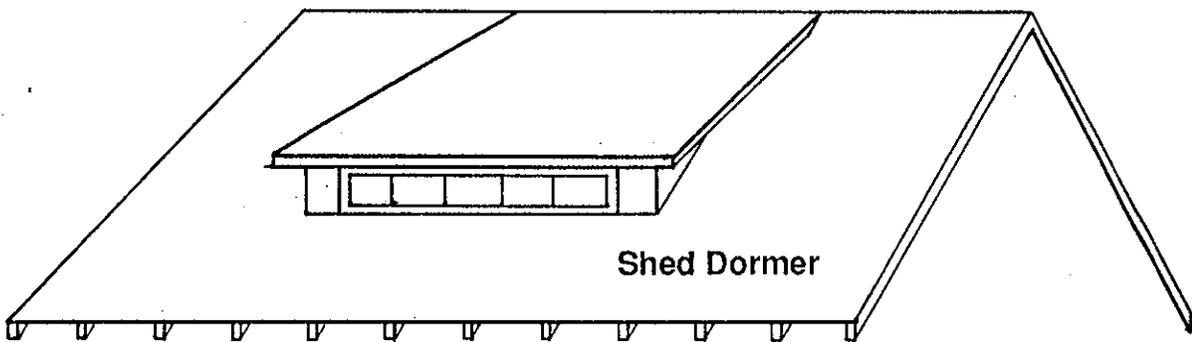
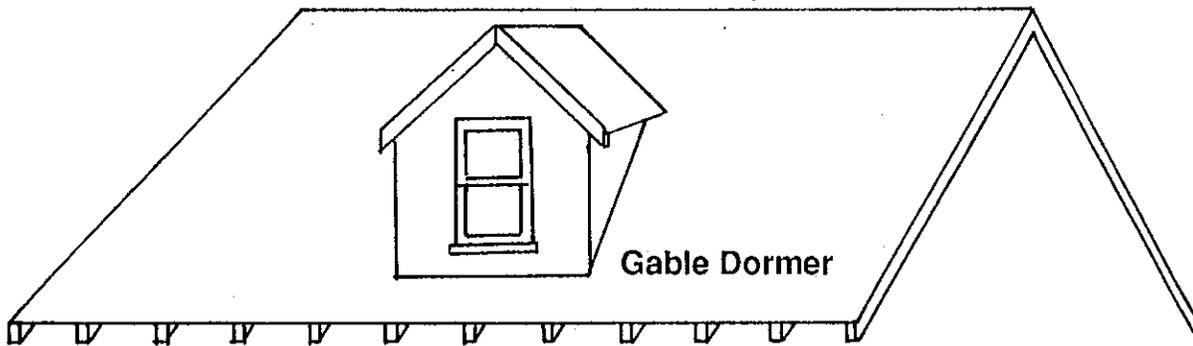
use roof surfacing materials that are compatible with materials employed on neighboring structures.

choose a roof design for additions that is compatible in type, scale, massing, and pitch to the original roof pattern.

Avoid:

the use of roll composition roofing as a replacement for the original roof fabric of historic buildings.

allowing roofs on additions to rise above the original ridge line.



Dormers

A dormer is a window or vent housing set within a sloping roof. Dormers are a prevalent feature of Colonial Revival and Bungalow style architecture. Dormers are used to provide additional living or storage space and ventilation. The dominant dormer forms in New Smyrna Beach contain side walls and a gable or shed roof that matches the pitch of the roof upon which it sits.

Recommended:

repair or maintain existing dormers.

new dormers should be compatible in massing, pitch, and eave treatment with the main roof.

center new dormers on the roof.

make new dormer fenestration compatible with that of the main body of the building.

Avoid:

placing dormers on additions if there are no dormers on the original structure.

removing existing dormers.

Exterior Wall Fabric - Wood, Masonry, and Synthetic

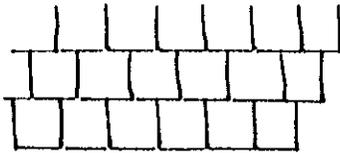
The majority of residential buildings in New Smyrna Beach are clad with wood siding. Exterior wood fabrics come in a variety of types, including drop (or novelty) siding, weatherboard, clapboard, and wood shingles. Repair and maintenance of original wood fabric is important in preserving the character of a historic structure.

Rough or textured stucco is another common exterior wall fabric found on historic buildings in the city. It is most closely associated with Mediterranean Revival architecture, but it can also be seen on examples of Colonial Revival, Bungalow, and Tudor buildings.

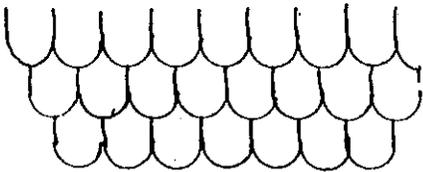
A number of commercial and public buildings in the city have brick exterior wall fabric. During the historic period brick was used as either a decorative veneer or as a structural system. Brick veneered walls are generally set in running bond; that is, in staggered stretcher courses. Brick in buildings with load bearing outer walls was set in a variety of ways, the most common of which was American bond. Typically, American bond walls consist of two layers of bricks connected by a header course after every five or six stretcher courses.

A handful of historic buildings in New Smyrna Beach have been encased with metal or plastic siding. While those products are advertised as being maintenance free, they are potentially hazardous to the building's infrastructure. Moisture, which condenses on the inside of the synthetic siding, is absorbed by the wood. Wet wood rots quickly and introduces an inviting habitat for wood-eating pests. Synthetic siding also detracts from the character of the historic structure by covering important detailing.

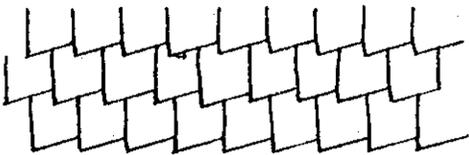
On many buildings, asbestos shingles, a popular exterior fabric introduced in the late 1930s, now cover original wood siding. Asbestos shingles are no longer available and cannot be replaced.



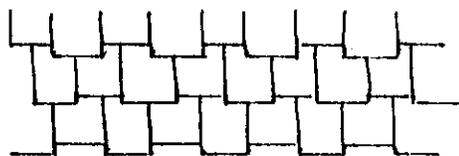
Overlapping



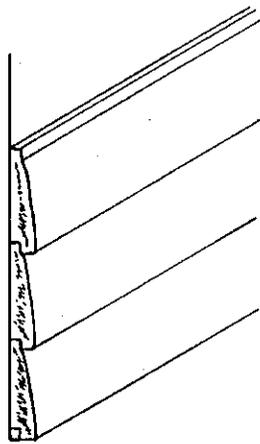
Fishscale



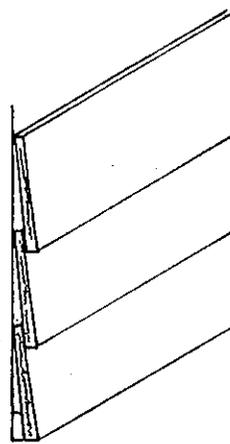
Sawtooth



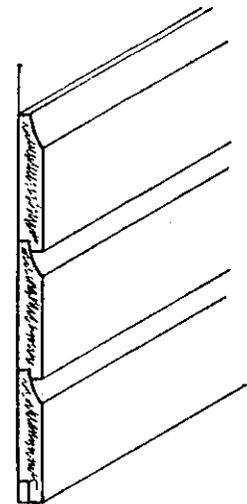
Staggered Butt



Clapboard



Weatherboard



Drop Siding

Recommended:

repair or maintain the original exterior fabric.

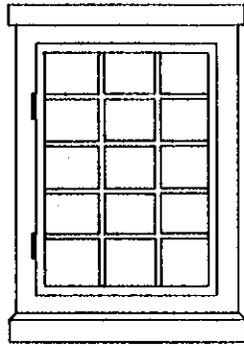
replace deteriorated exterior wall fabric with material that closely matches the original in width, thickness and design.

repoint brick as needed with a mortar that matches the color of the original.

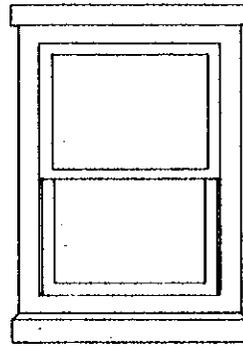
when the exterior walls of a buildings now covered by asbestos shingles must be replaced, employ a wood product appropriate to the original architectural styling of the building.

Avoid:

using synthetic siding, stucco, and other veneer materials, such as flagstone or faux marble, to cover original brick or wood exterior wall fabric.

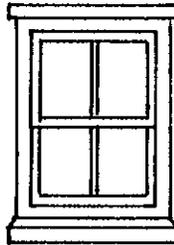


Casement

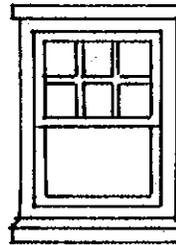


Double-hung

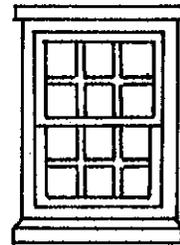
Appropriate for Frame Vernacular, Masonry Vernacular, and Colonial Revival



2/2 lights

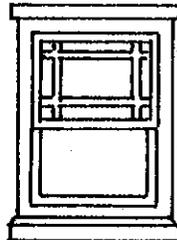


6/1 lights

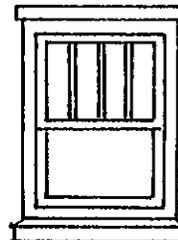


6/6 lights

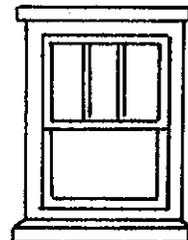
Appropriate for Bungalow and Mediterranean Revival



Queen Anne



3/1 Bungalow



4/1 Bungalow

Windows

Double-hung sash is the most common window type in New Smyrna Beach. Double-hung refers to the fact that both window frames (sash) are moveable. Hinged casement windows with multi-pane frames also appear in New Smyrna Beach. Window pane configuration varies from house to house and is often a character-defining feature of architectural design.

Recommended:

repair or maintain original windows.

if the original windows must be replaced, use windows that match as closely as possible the original in quality, design, size, window pane configuration, and material.

storm windows should exhibit the same color as the existing window frame.

skylights are acceptable if they are made flat and placed on a roof slope that is located out of public view.

Avoid:

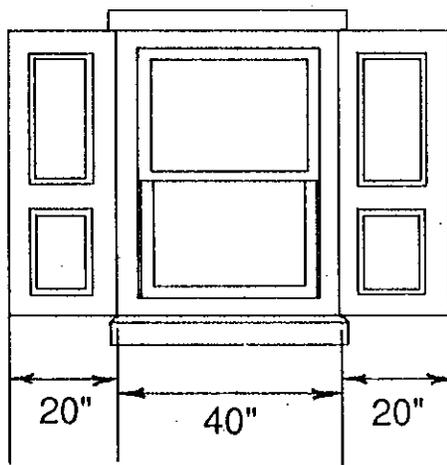
enlarging or reducing openings to receive replacement windows.

creating new window openings that can be seen from the public right of way, unless they are added in a manner that does not significantly alter the original appearance of the building.

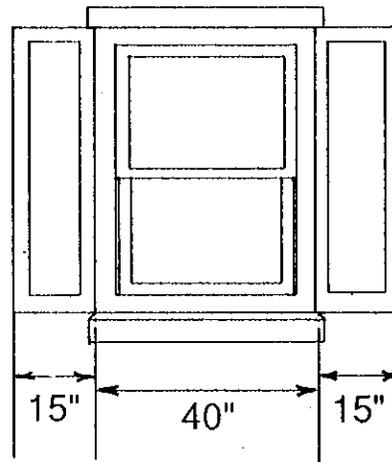
filling or blocking window openings with solid materials.

Shutters and Blinds

Shutters and blinds were originally used to protect interior spaces from rain and snow. They provided a measure of insulation from drafts and sunlight when closed and let natural light in when open. After the introduction of cheap glass panes for windows, the need for functioning shutters was reduced. Presently, shutters are applied primarily as decorative features. The occurrence of shutters on historic buildings in New Smyrna Beach is relatively rare.



Appropriate



Inappropriate

Awnings

Like shutters, awnings are not a prevalent characteristic of New Smyrna Beach architecture. In most instances, facade openings are protected by an overhanging eave or by porch roofs. When properly designed, however, awnings can enhance the appearance of a historic building.

Recommended:

repair or maintain original shutters.

replace irreparable shutters with copies or close facsimiles of the originals.

apply new shutters only to buildings with architectural styles that commonly utilized shutters in their designs.

use shutters that are functional and cover the entire window opening when closed.

Avoid:

employing shutters that are simply nailed or screwed into place.

Shutters and Blinds

Awnings

Recommended:

canvas awnings applied to residential buildings should fit the color scheme of the house.

use shed (single slope) awnings when the opening to be covered is square or rectangular.

use bell awnings when the opening to be covered is arched.

Avoid:

applying metal or inverted curve awnings, which are not compatible with the character of historic buildings.

using canvas awnings to replace a historic canopy anchored by truss rods.

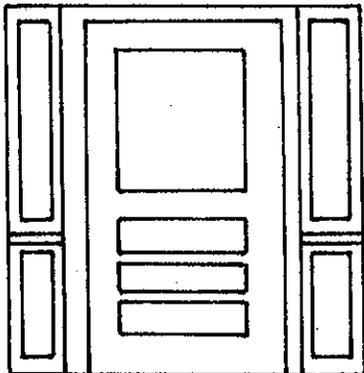
Doors and Entrances

Main entrances are often the focal points of a building's facade and deserve special consideration when changes are made.

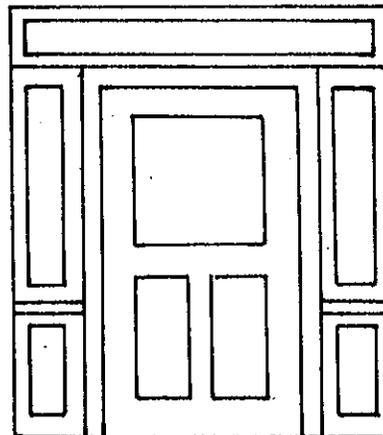
Entrances to historic buildings typically feature doors that are divided into wooden panels and contain glass windows (called lights) that

proportionately resemble windows in other parts of the building. Multi-pane transoms and/or sidelights often surround doorways. In many cases, decorative wood pediments and pilasters are used to frame the door.

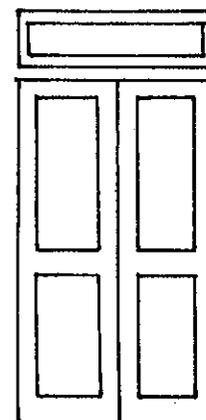
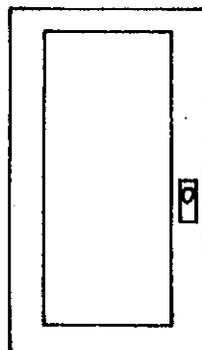
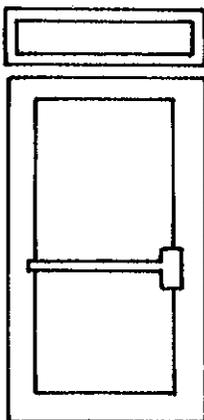
Main entrance with sidelights



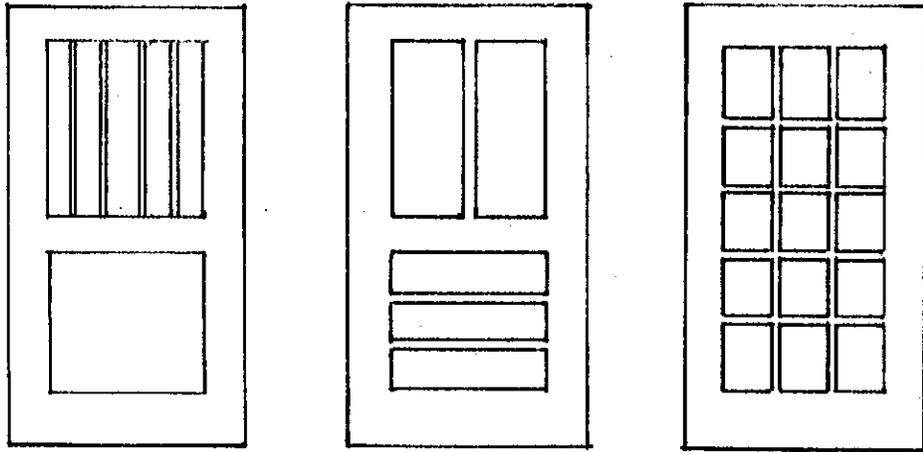
Main entrance with sidelights and transom



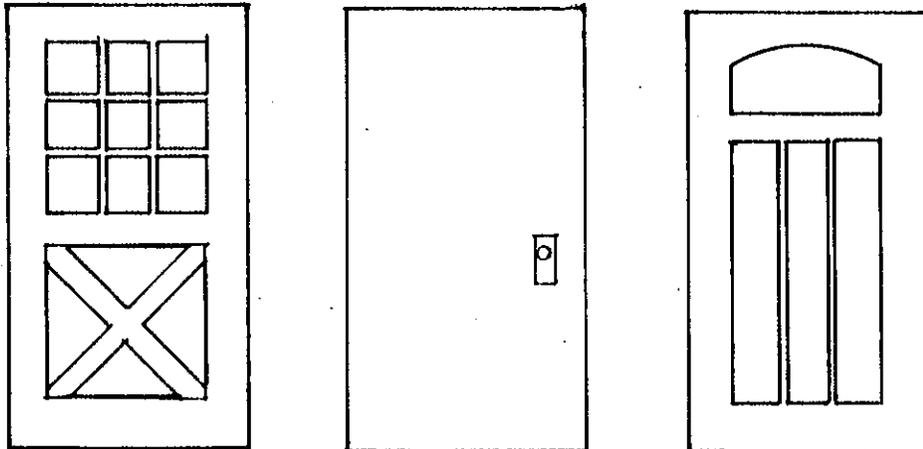
Appropriate commercial doors with correct placement of address



Appropriate replacement doors



Inappropriate replacement doors



Recommended:

repair or maintain original doors.

replacement doors should closely match the original or be suitable to the style of the building.

keep the entrance opening in its original location on the facade.

entrances that must be widened to meet requirements for handicapped access should have doors that are compatible with the style of the building.

Avoid:

replacing original doors with modern flush panel doors.

enlarging entrance openings by adding sidelights, transoms, or double doors to a single door opening.

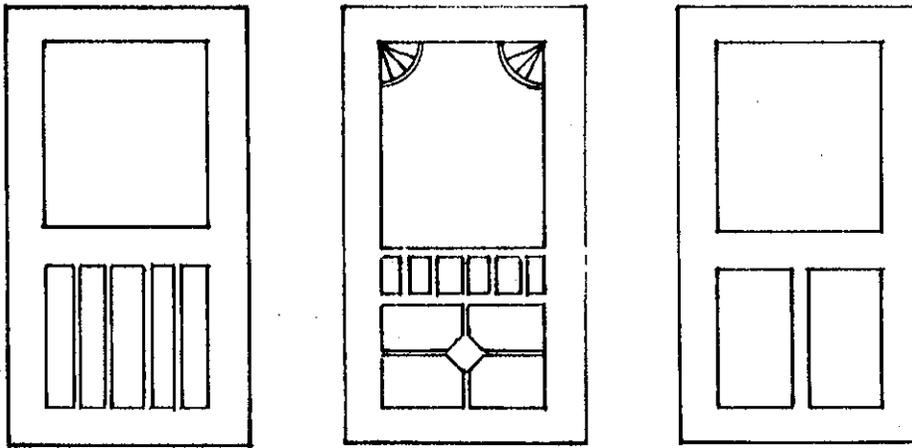
reducing the size of a door opening.

blocking or filling with solid materials the sidelights or transoms of a door surround.

adding new door openings on a primary elevation that can be viewed from the street.

adding sliding glass doors the street-fronting facade of a building.

Screen Doors



Appropriate screen doors

Recommended:

repair or maintain original screen doors.

replace irreparable screen doors with a close replica of the original.

new screen doors should be made of wood and designed to complement the styling of the original entrance.

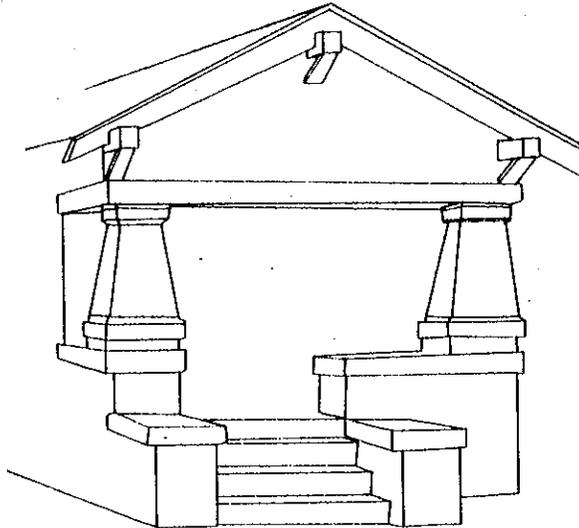
Avoid:

aluminum screen doors that contain ornamentation in the screen panel.

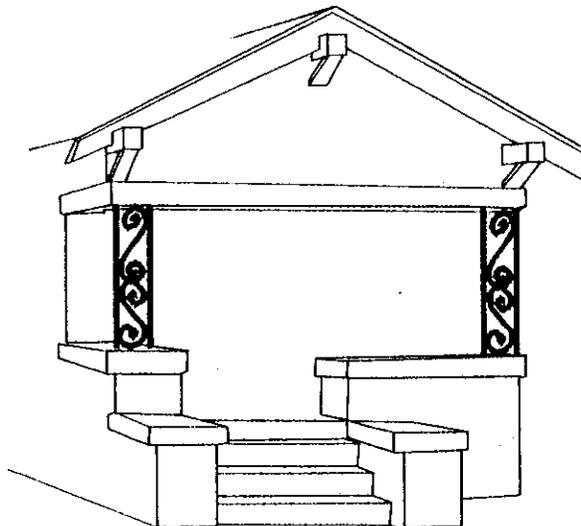
Porches

Porches are important elements of a historic building and are common to old houses in New Smyrna Beach. Porches were designed to protect the facade of the building and provide an exterior living space for the dwelling's occupants. Because porches are highly visible elements of historic building facades they often received decorative embellishments in the form of carved brackets, spindlework, turned balustrades, and other woodwork. Houses are often remembered for their porch detailing. Porch elements should be preserved through careful maintenance or replacement.

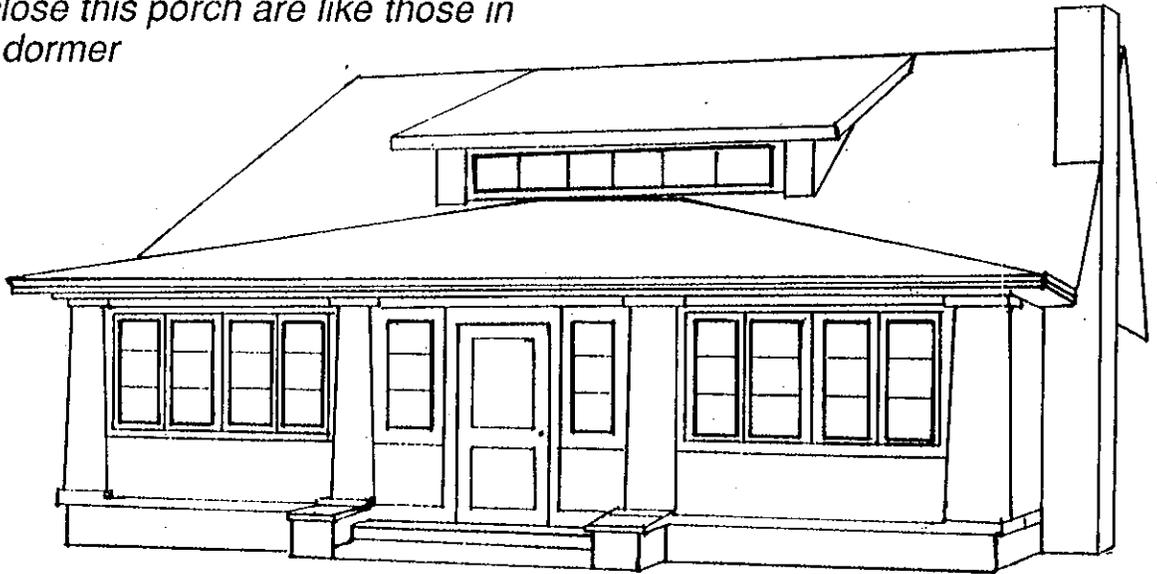
Appropriate: porch posts are preserved



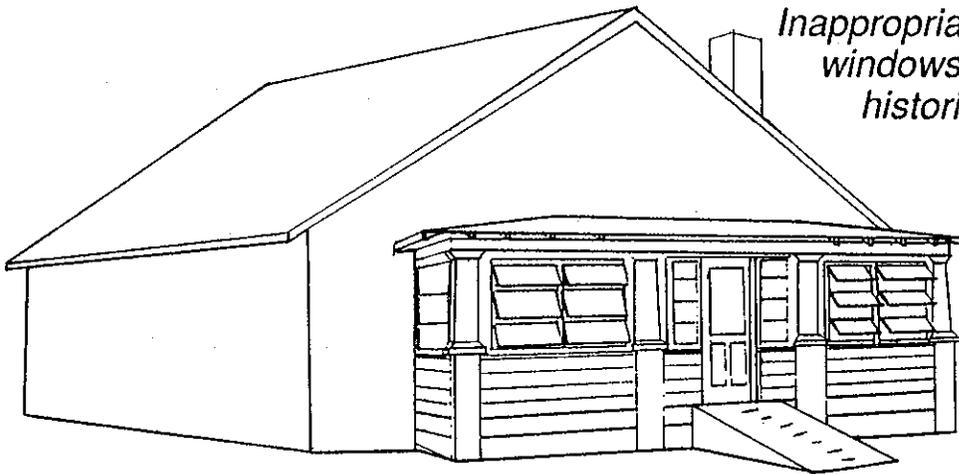
Inappropriate: iron porch posts detract from the historic appearance of this porch



Appropriate: pivot windows used to enclose this porch are like those in the dormer



Inappropriate: metal awning windows detract from the historic appearance of this porch



Recommended:

repair or maintain the original porch.

replace irreparable porch elements with materials that closely match the originals.

new porches or porch elements should be compatible with the overall style of the building.

Avoid:

removing a porch or any of its original components without plans for a suitable replacement.

enclosing porch openings. If enclosing a porch is necessary, the design should incorporate materials which preserve its openness and volume.

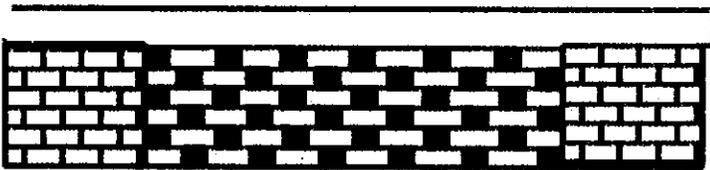
adding sun decks to street elevations of any building in the historic district.

Foundations and Infill

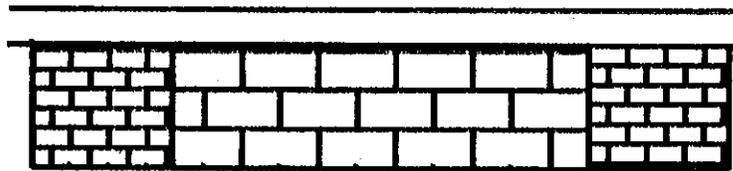
Many historic houses in New Smyrna Beach are built on masonry piers, mainly brick. The crawl space underneath the house provides access to plumbing and electric infrastructure while affording ventilation to the wooden substrate of the first floor. Ventilation of the crawl space is important in keeping the moisture content of the floor joists at a low level. Poor ventilation may cause wood to deteriorate.

Infill, the material used to screen the space between the foundation piers, should allow free movement of air into the crawl space. Pierced continuous brick infill, a pattern of bricks laid with air space between the end surfaces, can easily be added to a foundation, providing ventilation, continuous support to the sill plates, and an attractive historic appearance. Diagonal crisscross lattice, which can be purchased in prefabricated panels, is another viable infill option.

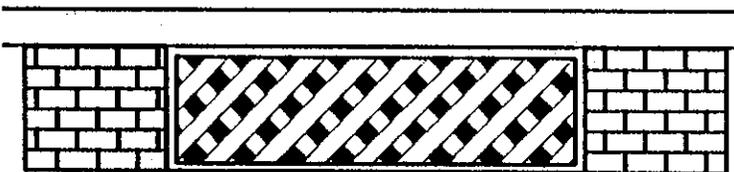
Appropriate: pierced continuous brick infill



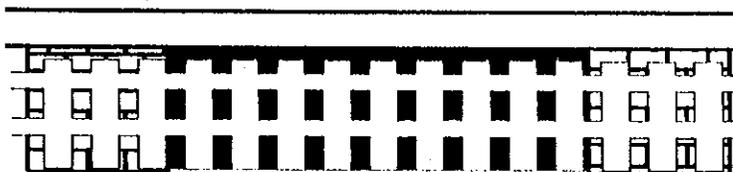
Inappropriate: continuous concrete block infill



Appropriate: wood lattice infill between brick piers



Inappropriate: wood picket infill covers brick piers



Recommended:

repair or maintain the original foundation and infill materials.

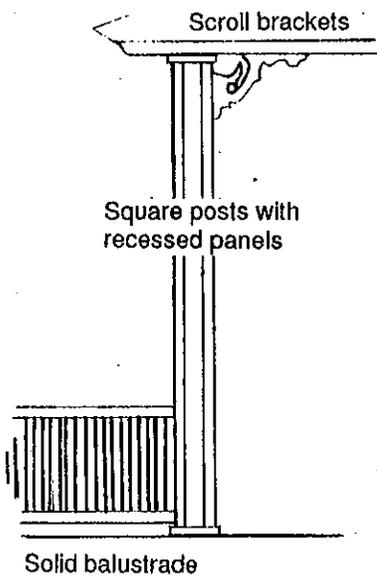
replace irreparable foundation materials with similar products.

when adding new infill, make it of a design consistent in pattern and material to those found during the historic period.

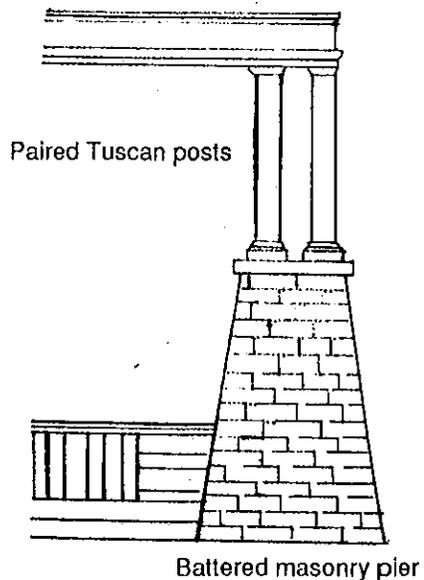
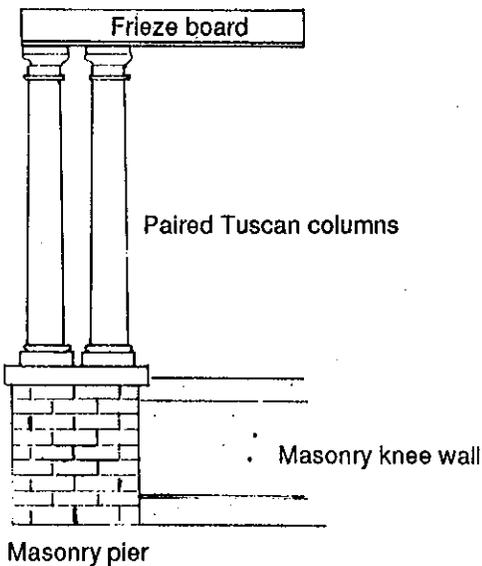
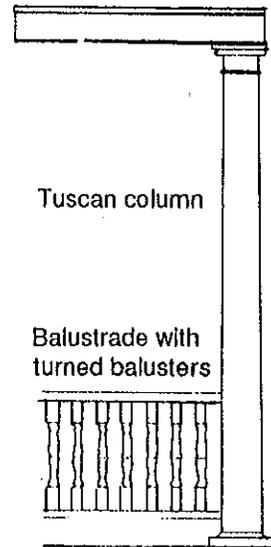
Avoid:

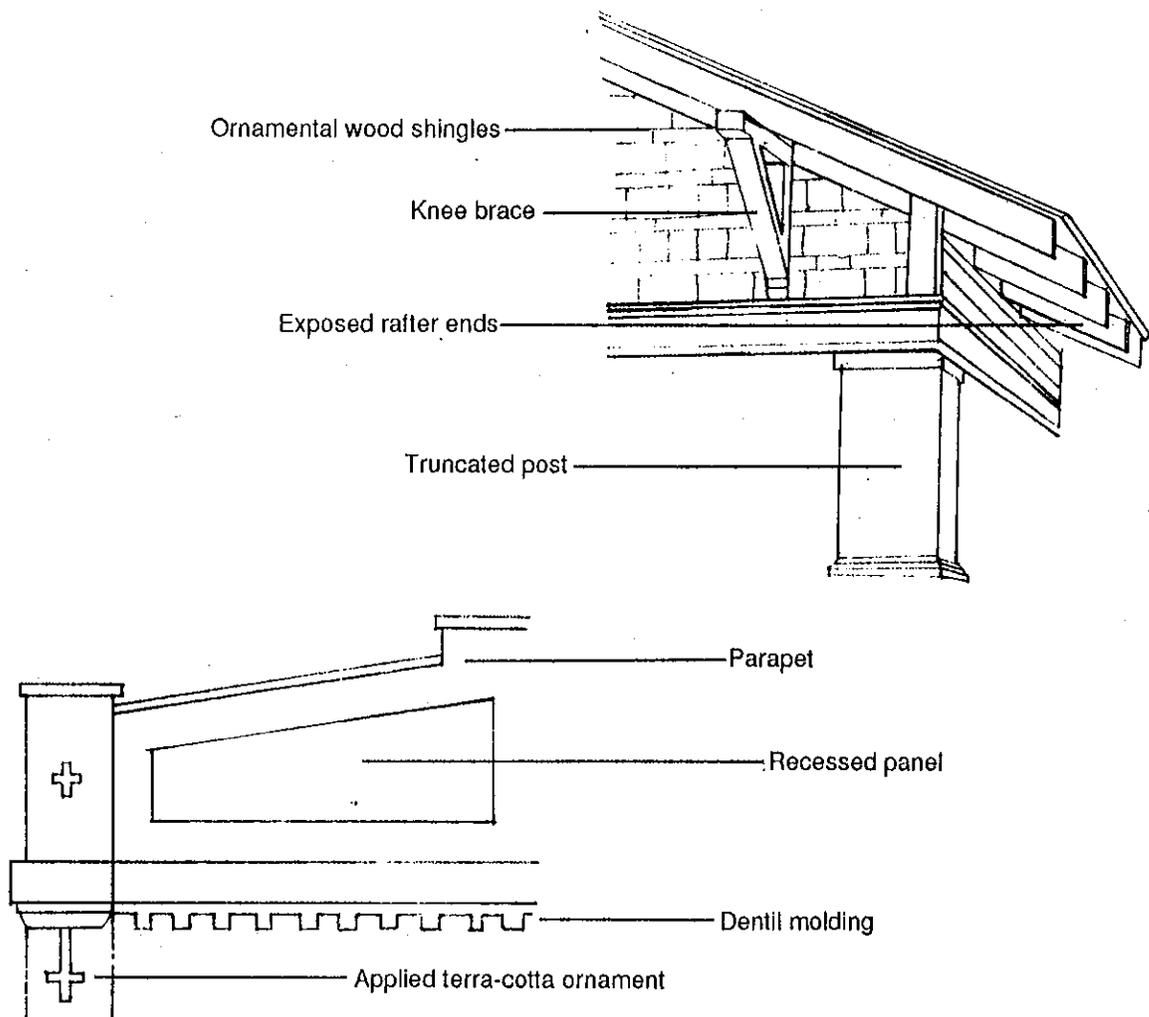
the installation of continuous infill between foundation piers with solid masonry material.

Ornamentation - Wood and Masonry



Ornamental detailing accentuates the silhouette of a building and helps to articulate its massing. Decorative features on historic houses in New Smyrna Beach range from ornate to modest. Exterior ornamentation includes jigsaw-cut verge board, cornice molding, exposed rafter ends, false beams, knee braces, corner boards, balustrades, porch posts, and, occasionally, scroll or spindle work. Patterned wood shingles are the most repeated form of ornamentation on residential buildings in the city. Careful attention should be given to the color of paint applied to ornamental features, for they often define the individuality of a building.





Recommended:

repair or maintain original ornamental elements.

replace irreparable ornamental elements with copies that are reasonable facsimiles of the originals.

apply ornamentation similar to that of the main house on room additions.

Avoid:

adding ornamentation that is uncharacteristic of the style in which the building was designed.

masking original ornamental detail by covering it with stucco or any other sheathing.

Color

The subdued colors of houses in historic areas of New Smyrna Beach blend well with the landscape. White is the dominant color, but dull reds, greens, yellows and blues are commonly found. The use of color is the most subjective of the decisions made during the rehabilitation process. It is a matter of taste that must be treated with a certain amount of latitude.

Recommended:

perform research on the building in question to determine its original color scheme.

if the original color scheme cannot be determined, colors appropriate to the style in which the building was constructed can be substituted.

when modern colors are used, they should harmonize with the colors of adjacent buildings and the overall setting.

Avoid:

colors that detract from the character of historic buildings and their surroundings.

Paint Removal and Surface Preparation

Recommended:

use chemical paint cleaners such as trisodium phosphate to clean painted surfaces.

use a power washer, which emits a high pressure water spray, or a low temperature heat gun to remove peeling or flaking paint. **Caution:** heat guns can be dangerous if they are used improperly.

Avoid:

sandblasting wood or masonry, for it destroys the original natural protective surface of the materials.

disk sanding, which leaves circular gouges in wood and pulverizes original detailing.

Exterior Lighting

Many old buildings in New Smyrna Beach have their original lighting fixtures, which are attached to the facade near the entrance or hang from the porch ceiling. These elements are often ornamental and evoke the feeling of the period in which the building was constructed.

Recommended:

repair or maintain original exterior light fixtures.

replace light fixtures with ones that match the originals as closely as possible.

in cases where reasonable facsimiles of original fixtures can not be obtained, select contemporary fixtures that complement the style and period of the building upon which they are placed.

Avoid:

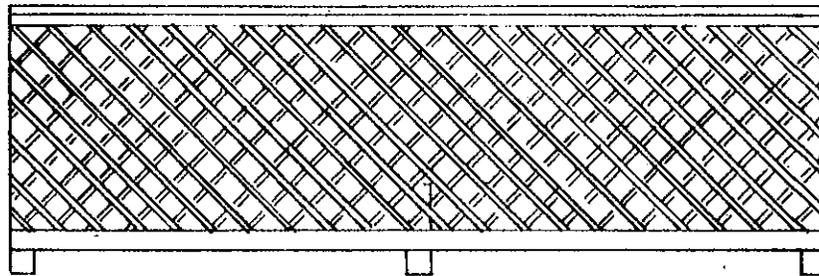
attaching light fixtures that are uncharacteristic or utilitarian, such as a floodlights, directly to a historic building.

using flood lights that excessively illuminate buildings.

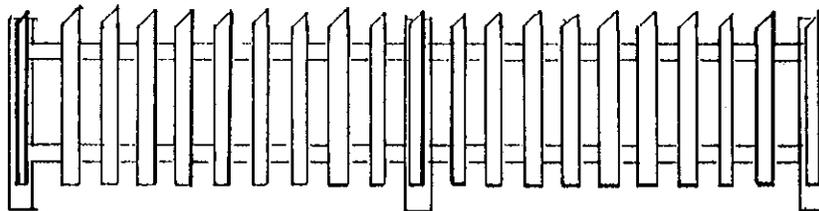
Fences and Retaining Walls

Fences provide a pleasant visual effect that enhances the historic character of an old neighborhood. Wood is the most common material used in historic fences in New Smyrna Beach. Wooden fences come in a variety of configurations, including picket and horizontal board. Picket fences are usually comprised of 3/4 x 2 1/2 inch pickets, each post four-feet in height. They are nailed to 2 x 4 inch horizontal members attached to posts set on eight-foot centers. The pickets are spaced at distances that vary with each fence. The fences of New Smyrna Beach are generally set on the lot line at the edge of the sidewalk or property line and establish a continuous edge linking one house to the next.

Appropriate: lattice fences are historic and nearly extinct



Appropriate: picket fences can have chisel, round, or pointed tops



Recommended:

repair or maintain original fences.

new fences should be of similar height and position on the lot as neighboring fences.

if a new fence is desired in an area where there are no neighboring fences, use a wood picket or horizontal board design.

in lieu of wooden fences, hedge rows may be planted along the sidewalk and continue on a linear course with the neighboring fence or hedge.

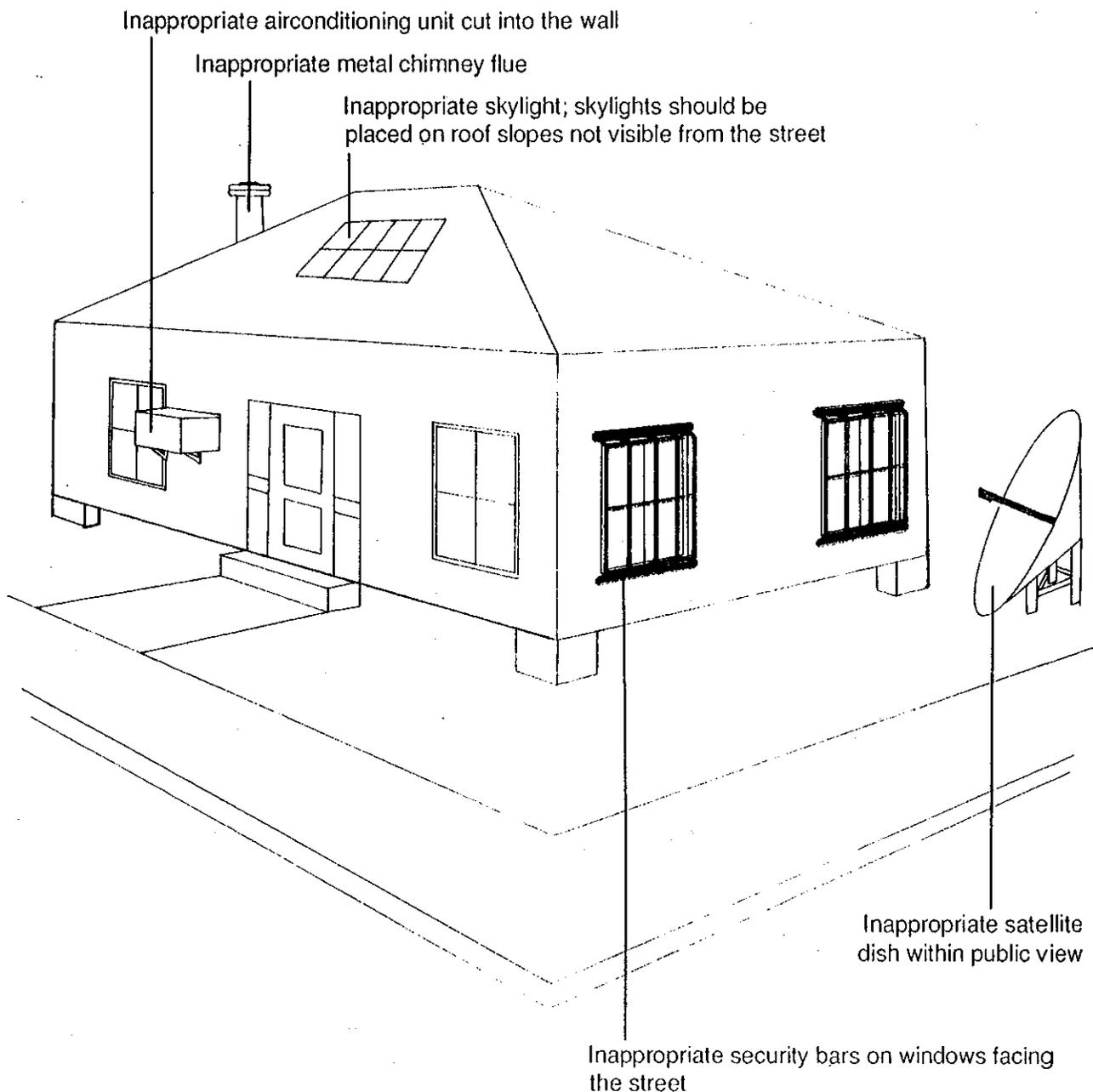
Avoid:

the use of chain link fences on the property line closest to the street.

excessively high fences that obscure the house from view.

Modern Infrastructure and Historic Buildings

Modern infrastructure, such as air conditioners, electric power meters, power lines, and plumbing can be installed in ways that do not disturb the character of a historic building.



Recommended:

install television antennas, solar collectors, satellite dishes, metal attic vents, and hurricane shutters out of the public view.

place necessary fire escapes or secondary entrances to upper floors in a manner that does not detract from the authenticity of a historic structure.

Avoid:

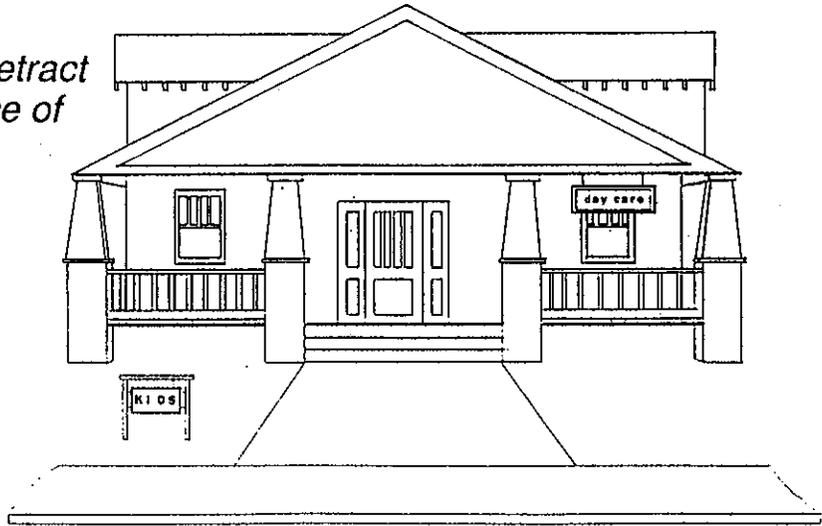
the application of wrought iron bars over window openings.

installing a window unit air conditioner by cutting through historic exterior wall fabric.

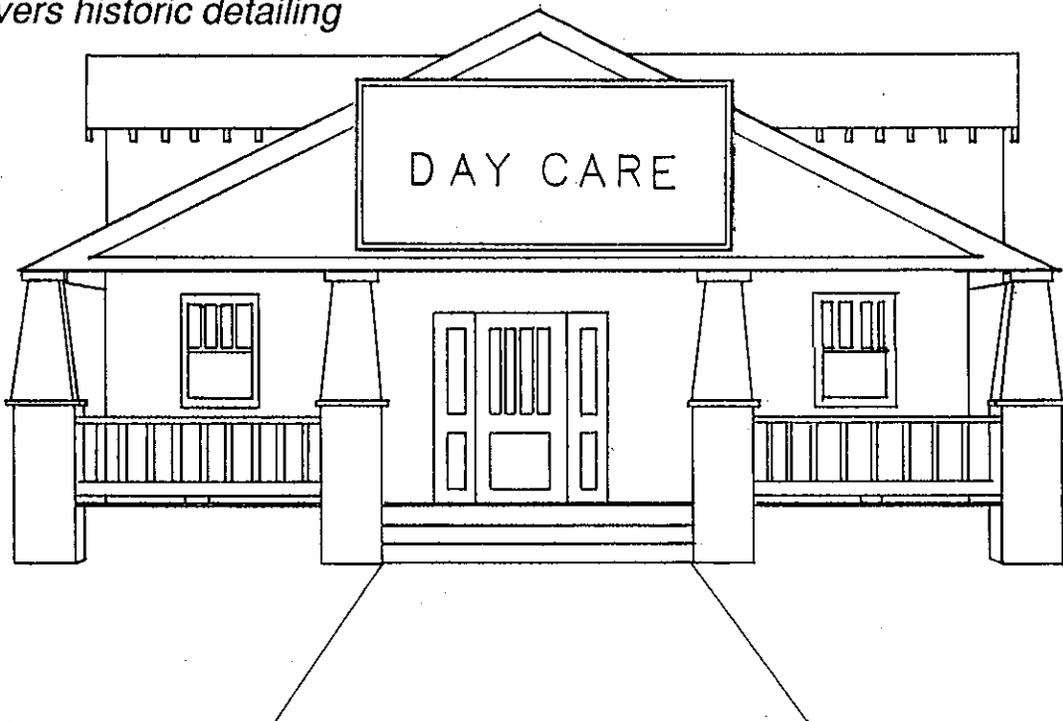
Signs

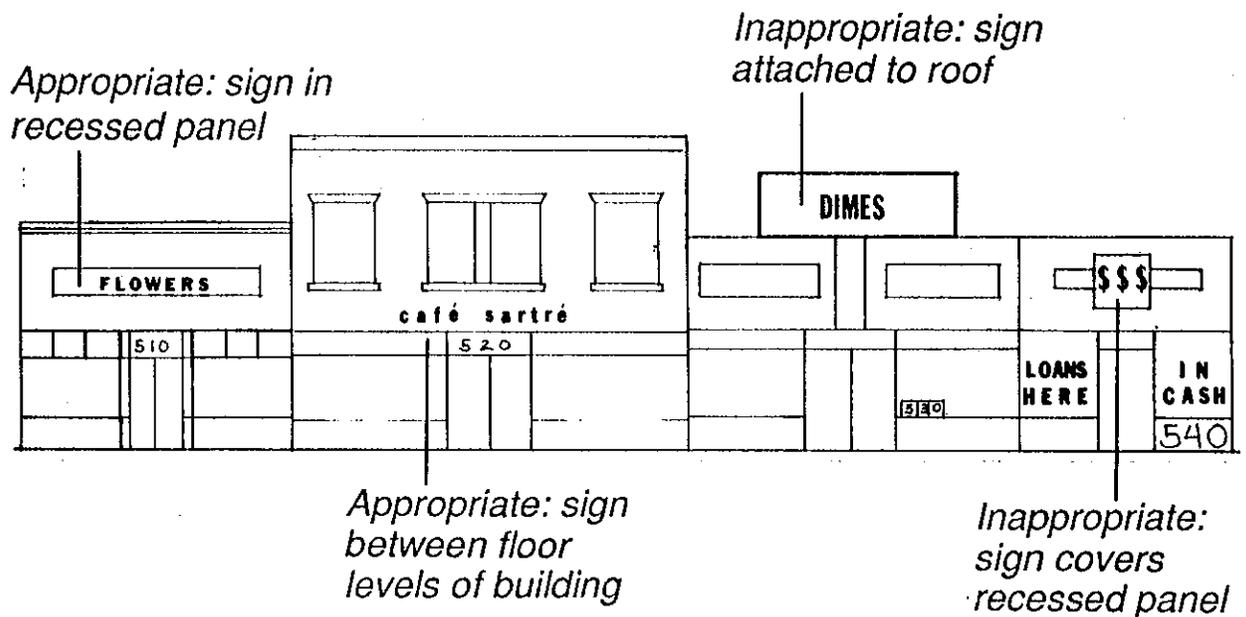
Signs in New Smyrna Beach are used principally in the commercial district along Canal Street. Signs should not detract from the historic character of the building to which they are attached.

Appropriate: signs do not detract from the historic appearance of the building



Inappropriate: sign is too large and covers historic detailing





Recommended:

use a sign design that blends with and enhances the facade of the building.

if a building has a headmast, locate the sign there.

place signs on individual storefronts that relate to neighboring signs in terms of size, design, color, placement, and lettering appearance.

concealed incandescent lights directed on the sign or neon may be used when illumination is desired.

limit to one each the number of free-standing and shingle signs that may be applied to businesses in residential districts.

limit signs on residential buildings converted to businesses to four square feet.

use free-standing signs in residential areas that echo the design of the building they advertise.

Avoid:

signs that hide architectural detailing or cover any portion of a window opening.

signs that project above the eave line.

the use of portable or flashing light signs.

free standing signs on Canal Street, where building setback is not sufficient to accommodate them.

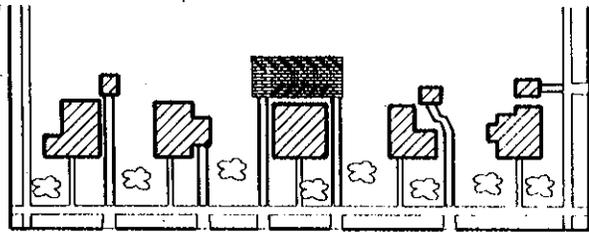
back lit plastic signs in the commercial district.

free-standing signs in residential areas that rise more than four feet above ground.

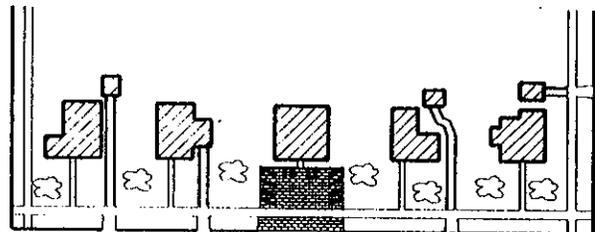
lighted signs for businesses in residential neighborhoods.

Parking

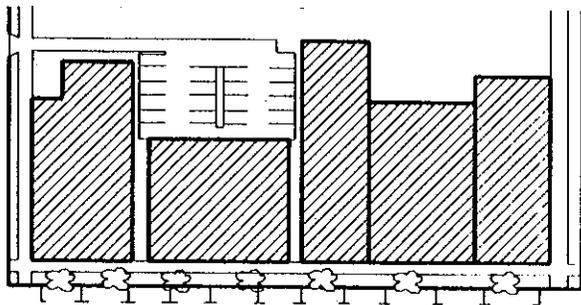
The residential streets of New Smyrna Beach are in most cases wide enough to accommodate current parking demands. In many instances there are private drives which lead to porte cocheres or detached garages. Paved parking lots in New Smyrna Beach are generally associated with commercial properties, churches, government buildings, and schools. The introduction of paved surfaces in a historic district warrants careful study.



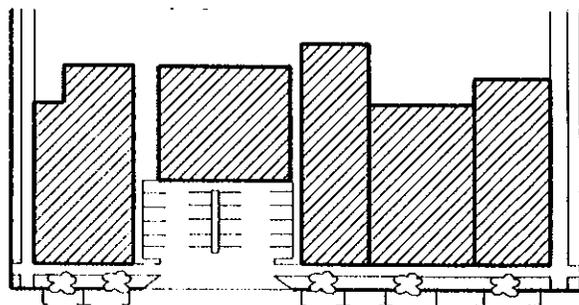
Appropriate: brick paved parking lot located to the rear of the building out of public view



Inappropriate: brick paving in front of building detracts from the overall residential surroundings



Appropriate: building has proper setback and parking does not detract from facade rhythm



Inappropriate: building is setback to accommodate parking, detracting from the facade rhythm

Recommended:

new private drives in the residential district should comply with the pattern and appearance of neighboring properties.

screen commercial district parking from the street with landscaping, fences, walls, or buildings.

Avoid:

paving residential green space in front of buildings for parking.

parking accommodations that require the inappropriate setback of an infill building.

Notes:

SECTION IV

New Construction in a
Historic District

Site Planning

The height, scale, setback, and orientation of historic buildings in New Smyrna Beach creates a harmonious context from one block to the next. The setback and massing of buildings

along residential streets in New Smyrna Beach are generally consistent from house to house, but may vary from one block to the next. Thus, each block has its own identity, which provides the pedestrian with interesting variation while maintaining a form of continuity.

Recommended:

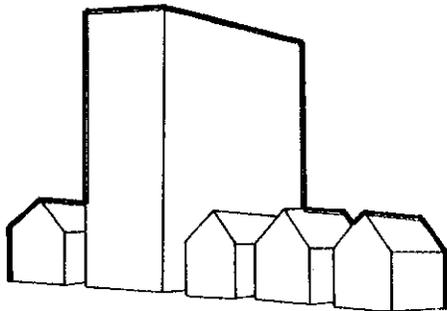
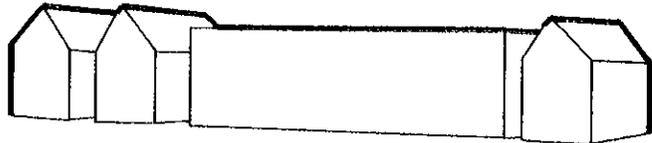
brick components on new buildings be compatible in color to similar features on neighboring buildings.

the color of a new building blend with the color of neighboring buildings.

new structures employ materials compatible in quality, design and color while retaining their identity as new structures.

Recommended:

the height of a new buildings should correspond to the height of neighboring buildings.

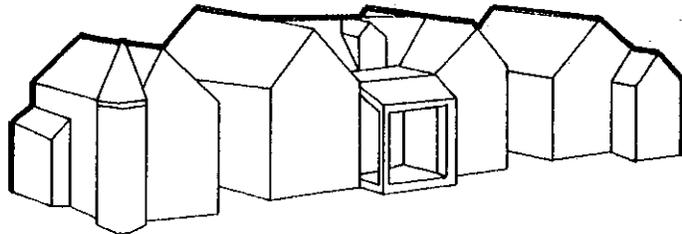


Avoid:

construction of a new building that varies greatly in height from neighboring buildings.

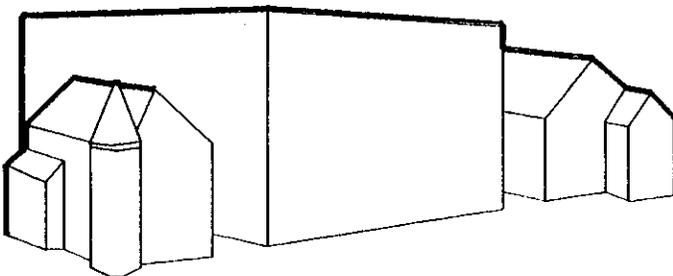
Recommended:

the size and proportion (or scale) of a new building should correspond to the scale of neighboring buildings.



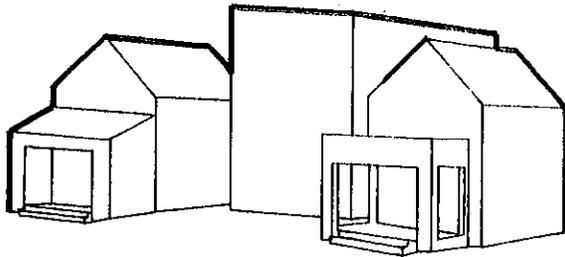
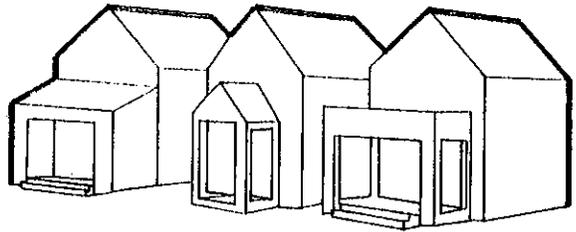
Avoid:

construction of a new building whose size and proportion disrupt the appearance of the neighboring buildings.



Recommended:

respect the setback (distance from the street or sidewalk) established by existing buildings on the same block when adding a new building.

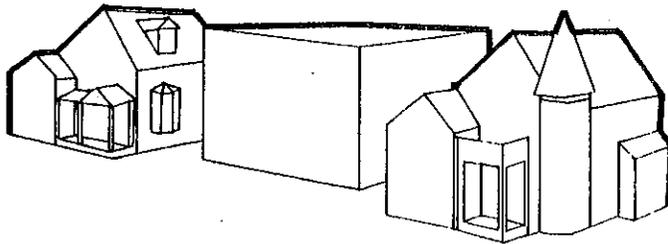
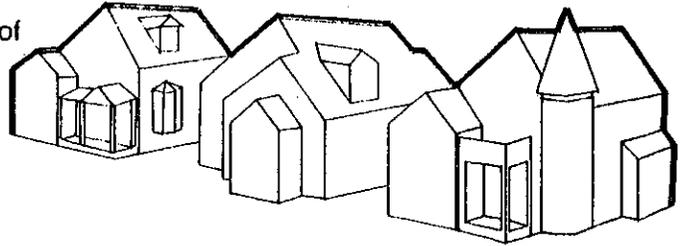


Avoid:

new construction that places the building in front of or behind the existing facade line within the same block. New buildings should face the same general direction as existing buildings.

Recommended:

construct buildings that respect the massing of existing buildings in the neighborhood.



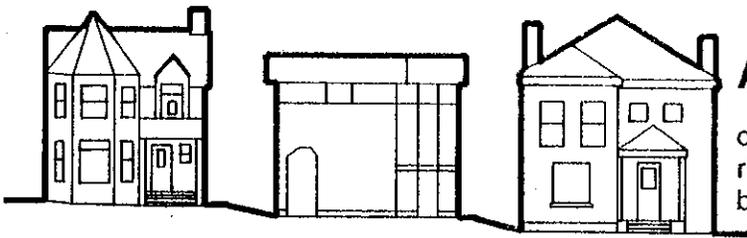
Avoid:

building designs that violate the existing massing pattern of the neighborhood.

Recommended:

the horizontal elements of new buildings, such as eave, window, and porch lines, should reflect that of surrounding structures.



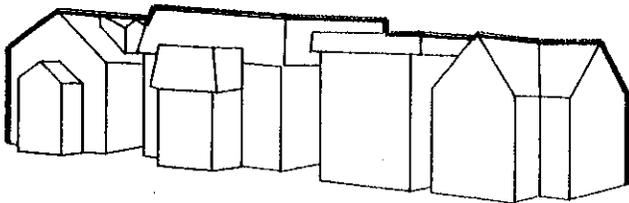
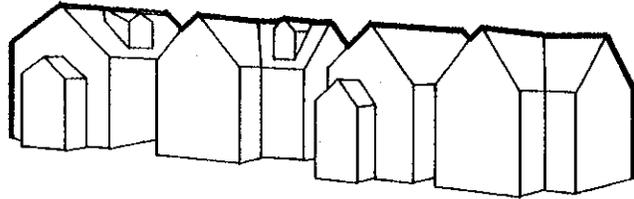


Avoid:

constructing a new building that interrupts the rhythm of elements found on neighboring buildings.

Recommended:

use roof shapes that conform to those found on neighboring buildings.

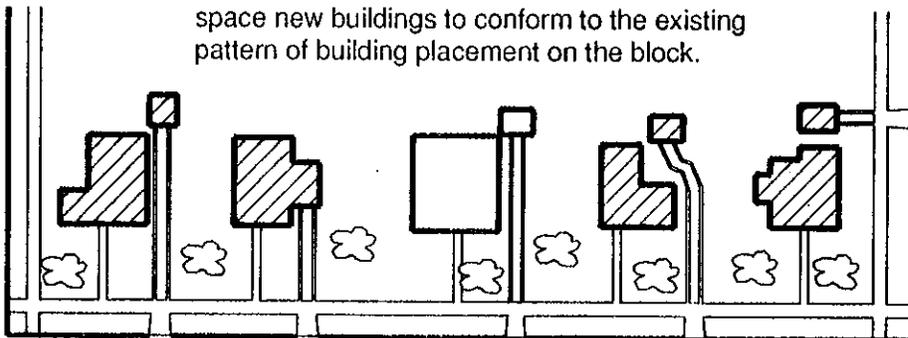


Avoid:

roof shapes that are not traditionally found in the area.

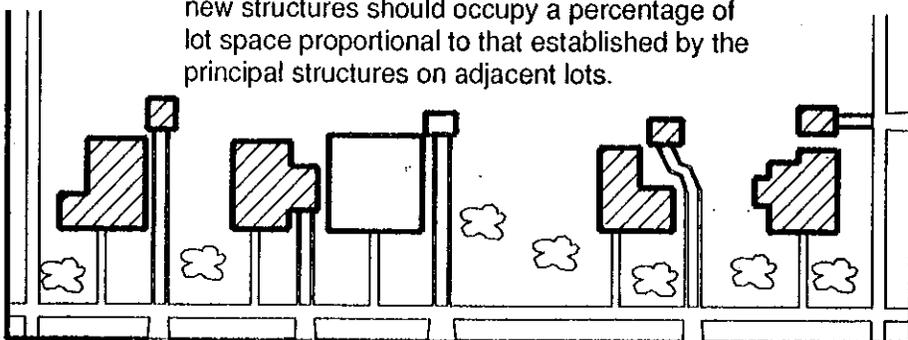
Recommended:

space new buildings to conform to the existing pattern of building placement on the block.



Avoid:

new structures should occupy a percentage of lot space proportional to that established by the principal structures on adjacent lots.



Additions to Historic Buildings

Additions to historic buildings should observe the same general rules that apply to construction of new buildings. Careful reference must be made to the building to which the addition is made. The height, massing, materials, fenestration, and design of the original portion of a building plays a crucial role in determining the design of a proposed addition.

Recommended:

the mass or square footage should be no more than 33 percent of the original portion.

choose a roof design for additions that is compatible in type, scale, massing, and pitch to the original roof pattern.

design eavelines that are either equal to or slightly lower than the original eaveline.

dormers on additions should be similar in scale, massing, pitch, and material to dormers on the main roof.

fenestration on additions should be compatible in placement, size, and type found on the original portion of the building.

Avoid:

placing an addition on the front facade of a historic building.

allowing roofs on additions to rise above the original ridge line.

placing dormers on additions if there are no dormers on the original structure.

Demolition and Relocation

The New Smyrna Beach Code of Ordinances provides for HPC review of all demolition requests pertaining to buildings designated as landmarks or located within the boundaries of designated historic districts.

The ordinance provides that the HPC shall not issue a Certificate of Appropriateness for the demolition request until the applicant has demonstrated that no other feasible alternative to demolition can be found. The HPC shall consider the question of economic hardship and shall determine whether the property at issue can be put to reasonable beneficial use without the approval of the demolition applications.

Demolition of a historic building may result in significant visual damage to its neighborhood and a consequent erosion of cultural and economic value. A historic building is irreplaceable. Once removed, it is gone forever. Accordingly, the HPC and the property owner are obligated to look for every alternative to demolition.

The same rules generally apply to relocation of historic buildings. The ordinance provides specific factors for the HPC to consider in the case of a relocation request.

In most cases, relocation is preferred to demolition, if demolition cannot otherwise be avoided.

Appendices

The Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior has adopted a set of standards for rehabilitation of historic structures under federal programs, including the tax incentive program for rehabilitation. Property owners should consider the following areas when formulating plans for rehabilitation. Those who are contemplating the rehabilitation of a historic structure under the federal tax incentive program should consult the State Historic Preservation Office for more details concerning eligibility and details concerning federal tax credits for rehabilitation. The following standards are general principles that the Department of the Interior recommends for consideration in the planning stage of rehabilitation. The department has also issued a set of accompanying guidelines which offer more specific and detailed instruction for rehabilitation of buildings, when the rehabilitation must comply with federal regulation.

1. Every reasonable effort shall be made to provide compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.
2. The distinguishing original qualities or character of a building, structure or site shall not be destroyed. The removal or alteration of any historic material or distinctive architectural feature should be avoided when possible.
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be recognized and respected.
4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

Appendix A

5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired, rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
8. Every possible effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
10. Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Appendix B

Archaeology in the Historic District

Archaeological resources are an important key to unlocking the mysteries about the history of New Smyrna Beach. They are the only evidence that we have concerning life in the area before the arrival of the Europeans in the sixteenth century, and such resources can also tell us much about where and how the colonists and early settlers lived.

The land upon which the City of New Smyrna Beach rests has been a popular place for thousands of years. The natural inlet, abundant marine life, and topography of the location appealed to Native Americans as surely they did to the Europeans. The only means that we have to reconstruct the centuries of New Smyrna Beach's unrecorded history are, however, the archaeological materials that lie beneath the surface of land and water.

The historic archaeology of New Smyrna Beach, that is, the material evidences of life after the Europeans arrived, is also significant. The stone foundations of a great building sunk within a hill of oyster shells at Old Fort Park is one of Florida's most spectacular archaeological sites. What else might lie undiscovered beneath the earth we can only surmise.

Property owners must realize that their land may contain valuable clues to the past. Extensive digging or excavation will destroy forever an archaeological site. Once that happens, the information it might contain can never be recovered.

The Historic Preservation Ordinance permits the City of New Smyrna Beach to declare a significant archaeological site as "historic" and to employ municipal review authority to protect it. In most cases, however, since such resources are difficult to find and remain generally undiscovered, they will remain unprotected.

Accordingly, the City can only appeal to property owners to assist it in protecting such valuable historical information. If, in the course, of digging or excavation, a property owner or developer encounters what appears to be an archaeological site, that person is urged to advise the City Planning Department at once. That department will attempt to obtain professional assistance to determine the significance of the site and help the property owner avoid the unnecessary destruction of an important piece of the city's history.

Appendix C

Tax Incentives for Rehabilitation of Historic Buildings

The federal government encourages the rehabilitation of historic buildings through a tax incentive program. Beginning with the 1976 Tax Reform Act and the 1978 Revenue Act, federal tax law has contained provisions that favored the retention of older buildings. In 1981, Congress further encouraged preservation with a change in the tax code that allowed taxpayers a credit equal to 25 percent of qualified expenditures for certified and substantial rehabilitation of qualified buildings. The 1986 Tax Reform Act retained the credits, though at a reduced rate. Current (1991) law provides for a twenty percent credit upon the expenses incurred in rehabilitating a certified historic building and a ten percent credit for buildings more than fifty years old. The current law applies only to income-producing property.

The tax law also permits a charitable deduction for federal estate and income tax purposes to a landowner who makes a "qualified conservation contribution" of land. The code defines that contribution as a "qualified real property interest" to a qualified organization exclusively for conservation purposes. Among such purposes are the preservation of a certified historic structure. A further provision in the federal tax code favoring historic preservation is one that exempts the interest on Industrial Revenue Bonds employed for historic preservation purposes from federal taxation under Section 103(b) of the Internal Revenue Code of 1954. While each state has a precise limitation upon the amount that can be exempted, the quota is generous. This federal incentive for historic preservation will probably remain substantial.

Appendix D

City of New Smyrna Beach Historic Preservation Commission

Application for Certificate of Approval

Case No. _____ Date: _____

Subdivision: _____ Block No. _____ Lot No. _____

To the NEW SMYRNA BEACH HISTORIC PRESERVATION COMMISSION:

I (We) the undersigned, do hereby make application for a certificate of approval for the following plans:

1. Address of Property: _____

2. Name, Address, and Telephone Number of Record Owner:

3. Description of Building or Structure for which this application is made:

4. Description of Proposed Work:

Case No. _____

5. The following statements and materials are provided for the Commission's use in the review process: (list all specifications, drawings, renderings, or paint samples submitted)

6. Contractor's Name and Address: _____

7. Work is proposed to begin on or about _____ and end _____

8. In the case of removal or demolition, the following statement describes the proposed condition and appearance of the property thereafter:

9. Other Comments: _____

Applicant's Name: _____

Address: _____

Telephone No. _____

Appendix E

CITY OF NEW SMYRNA BEACH
HISTORIC PRESERVATION COMMISSION

Date: _____

NOTICE OF PUBLIC HEARING

PETITION FOR DESIGNATION OF PROPERTY UNDER THE PROVISIONS OF THE HISTORIC PRESERVATION ORDINANCE

You are hereby notified of the following public hearing to be held by the Historic Preservation Commission of the City of New Smyrna Beach regarding a **Petition for Designation** of the property described below as a historic landmark under the provisions of Section _____ of the Code of Ordinances.

Property Address: _____

Subdivision _____ Block _____ Lot _____

Description of Boundaries of Proposed Historic District:

A Historic Preservation Commission hearing is scheduled for:

Date: _____

Time: _____

Place: _____

As a resident and party in interest, you are invited to attend this meeting and express your views concerning the above request. If you have any questions regarding the request, please contact:

Historic Preservation Commission c/o Planning Department
City of New Smyrna Beach
210 Sams Avenue
New Smyrna Beach, FL 32169

Notes:

Appendix F

Glossary

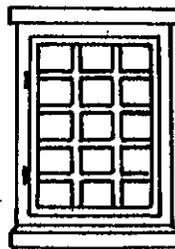
Balloon framing: A method of wood-frame construction, referring to the skeletal framework of a building. Studs or uprights run from sills to eaves, and horizontal bracing members are nailed to them.

Balustrade: A series of balusters with a top and bottom rail. Some balustrades in New Smyrna Beach are comprised of brick.

Bracket: A decorative support feature located under eaves or overhangs.

Canopy: An ornamental roof-like structure used on commercial buildings which provide advertisement space, shade, and protection for the storefront and pedestrian traffic.

Casement Window: A hinged window which opens out from a building.



CASEMENT WINDOW

Composition shingles: A modern roofing material composed of asphalt, fiberglass fiber, or asbestos.

Dormer: A secondary feature of a building housing a window or vent, which is set upon the slope of a roof surface. Dormers may provide ventilation, lighting, or auxiliary living space.

Eave: The projecting overhang at the bottom edge of a roof surface.

Exposed beam: A decorative wooden beam that appears to support eaves, prevalent on Bungalow-style residences.

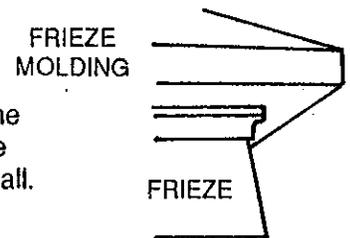
Facade: The elevation or face of a building.

Fenestration: The arrangement of windows in a building.

Footprint: The outline of a building's ground plan from a top view.

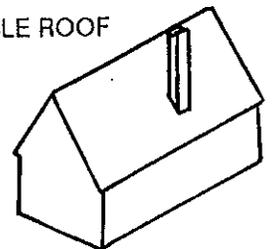
Frieze: A wide facing board located at the junction of the exterior wall and roof eaves.

Frieze molding: Decorative wooden molding located at the point where the eave meets the exterior wall.



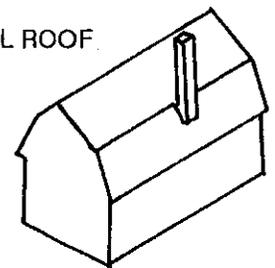
Gable roof: A triangular section at the end of a pitched roof.

GABLE ROOF



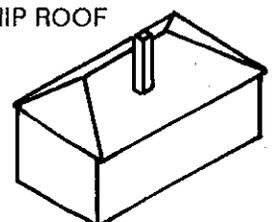
Gambrel roof: A double-sloped gable roof, which allows additional living or storage space.

GAMBREL ROOF



Hip roof: A roof with sloping sides and ends.

HIP ROOF

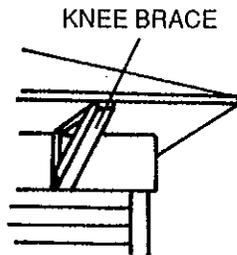


Historic Preservation Commission (HPC): A seven-member board of residents of New Smyrna Beach appointed by the City Commission to exercise defined historic preservation responsibilities.

Jalousie: A type of window comprised of a series of horizontal slats connected to a mechanical device operated by a crank.

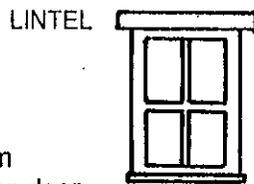


Knee brace: A wooden triangular brace that supports the eaves of a building. Knee braces were frequently utilized in the construction of Bungalow style residences.



Lattice: A panel of criss-crossed diagonal or perpendicular slats often utilized as decorative infill between masonry foundation piers.

Light: A single pane of glass.



Lintel: A horizontal beam located above a window or door.

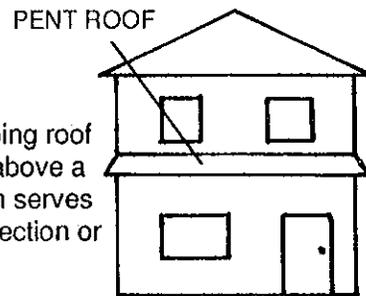
Louver: A door or window comprised of overlapping downward sloping slats, which shed rain while admitting light and air.

Masonry: Brick, block, or stone which is secured with mortar.

Massing: A term used to define the overall volume or size of a building.

Molding: A continuous decorative strip of material applied to a surface.

Parapet: A solid protective or decorative wall located along the outside edge of a roof.



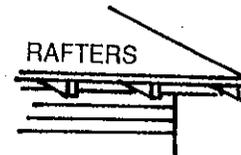
Pent roof: A sloping roof structure located above a window line, which serves as secondary protection or ornamentation.

Piers: A masonry structure, usually made of brick or concrete block, which elevates and supports a building or part of a building.

Pitch: A term which refers to the steepness of roof slope.

Pivot window: A hinged window which opens out with the aid of a mechanical crank.

Rafter: A wooden member of a roof frame which slopes downward from the ridge line.



Recessed panel: A recessed area usually located in the frieze band of residential buildings. Recessed panels decorative elements that often function as an area for signage.

Rehabilitation: The process of returning a building to a state of usefulness through repair or alteration which preserves those features that are historically or architecturally significant.

Relocation: Any change in the location of a building from its present setting to another setting.

Restoration: The process of accurately recovering the form and details of a building as it may have appeared at an earlier time.

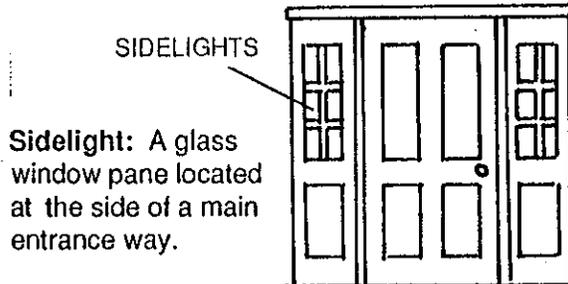
Ridge: The highest part of a roof.

Sash: A frame that encloses the panes of a window.

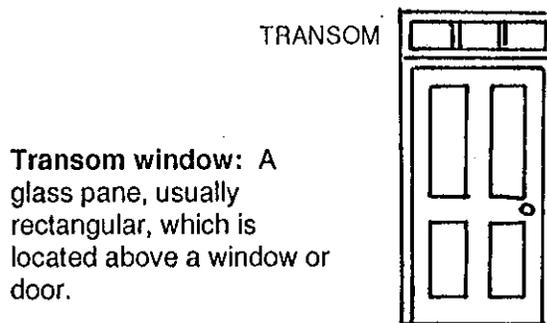
Scale: A term used to define the proportions of a building in relation to its surroundings.

Setback: A term used to define the distance a building is located from a street or sidewalk.

Shed roof: A roof with a single sloping pitch.

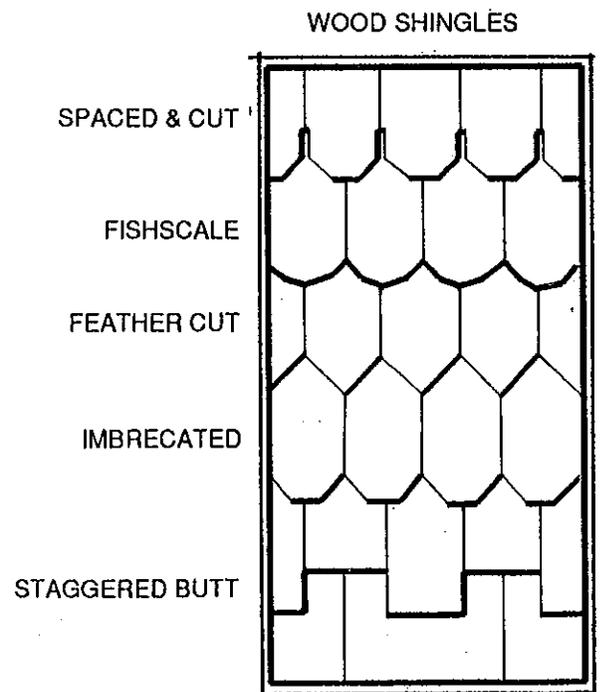


Stucco: A masonry material applied as exterior wall fabric.



Window sign: A sign which is painted on or attached to a window and is visible to pedestrian or vehicular traffic.

Wood shingles: A type of wooden siding comprised of milled shingles which overlap each other. The bottoms of wood shingles when cut diagonally, round, or triangularly, create a decorative feature.



OTHER SOURCES OF INFORMATION

Rehabilitating a historic building may involve a variety of professional concerns, ranging from technical information to legal and tax information. This section offers the standard places to begin a search for knowledge about historic buildings.

Architectural Information: Three standard sources are *What Style Is It?* (Washington, D.C.: Preservation Press, 1983); John Blumenson, *Identifying American Architecture* (Nashville: AASLH Press, 1981); and Virginia and Lee McAlester, *A Field Guide to American Architecture* (New York: Alfred A Knopf, 1986).

National Register Information: The State Historic Preservation Office in Florida is maintained by the Division of Historical Resources, Florida Department of State, R.A. Gray Building, 500 South Bronough Street, Tallahassee, Florida 32399-0250. Telephone: (904) 487-2333.

The same office will also provide information concerning applications for certification of a building for tax credit.

Architectural Guidelines: The U.S. Department of the Interior, National Park Service, is responsible for administering the federal historic preservation program. Federal guidelines for rehabilitation of historic buildings are contained in the *Secretary of the Interior's Guidelines for Rehabilitation* (Washington: Government Printing Office, 1987).

Appendix G

Other Information: two private organizations offer assistance in historic preservation. They are:

The National Trust for Historic Preservation
1785 Massachusetts Avenue, N.W.
Washington, D.C. 20036

The Florida Trust for Historic Preservation
P.O. Box 11206
Tallahassee, Florida 32302

